



Solano County

675 Texas Street
Fairfield, California 94533
www.solanocounty.com

Agenda Submittal

Agenda #:	3	Status:	PC-Regular
Type:	PC-Document	Department:	Planning Commission
File #:	PC 25-003	Contact:	Travis Kroger
Agenda date:	02/20/2025	Final Action:	

Title: Conduct a noticed public hearing to consider Use Permit application U-24-08 by Complete Wireless Consulting, Inc for Verizon to establish a new wireless communication facility consisting of an 80' monopole within a 2,500 square foot lease area located at 5778 Dixon Avenue West, located one mile east of the City of Dixon in the Exclusive Agriculture 40-acre minimum (A-40) zoning district, APN 0109-020-080. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures.

Governing body: Planning Commission

District:

Attachments: A - Draft Resolution, B - APN Map, C - Letter with Color Samples, D - Project Support Statement (w-alternatives analysis and photo sims), E - Development Plans, F - Radio Frequency Evaluation Report, G- Tolling Agreement, H - Good Neighbor Notice, I - Good Neighbor Report, J - Vicinity Map, K - Public Notice

Date:	Ver.	Action By:	Action:	Result:
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Public Hearing Required? Yes X No
 Public Notice Required? Yes X No

DEPARTMENTAL RECOMMENDATION:

The Department of Resource Management recommends that the Planning Commission:

1. Conduct a noticed public hearing to consider Use Permit U-24-08; and
2. Adopt a resolution approving U-24-08 subject to the findings and conditions of approval contained in Attachment A.

SUMMARY:

I. EXECUTIVE SUMMARY:

Verizon Wireless is pursuing a use permit to construct and operate a new wireless communications facility consisting primarily of an 80'-foot-tall monopole and associated equipment within a 2,500 square foot lease area on property located at 5778 Dixon Avenue West in unincorporated Solano County.

Pursuant to Section 28.81(E)(2)(a) of the County Zoning Regulations, Planning Commission approval is required for new facilities which are not co-located or grouped.

II. OBJECTIVE:

The proposed facility meets Verizon's coverage objectives within a geographic area not adequately served by Verizon's network. Specifically, to solve the following issues. First, there is a gap in 5G coverage between Dixon and Vacaville. Second, there is also a lack of 4G coverage caused by a lack of capacity, with sites serving the area severely congested. Four sites serving Dixon and the surrounding area, including I-80 and I-505, are overloaded, with average traffic usage 1.6 times the normal operating condition of a cell site. These four overloaded sites are all located approximately 3 miles away, one to the southwest, one to the southeast, one to the east, and one to the northeast.

Overloaded sites result in reduced network throughput, which degrades network performance, leading to an increase in dropped calls, poor download speeds, and poor service. The site is being proposed as a four-sector site to minimize the number of facilities needed and is being proposed at the minimum functioning height to achieve the coverage objective.

III. LOCATION:

The project is in northern Solano County, 1.25 miles west of the City of Dixon at 5778 Dixon Avenue West. As identified by the General Plan, the property is situated in the Dixon Ridge agricultural region which provides for a combination of agricultural production, agricultural processing, and agricultural services.

The subject property is zoned Exclusive Agriculture 40-acre minimum (A-40) zoning district, and is developed with a primary dwelling, secondary dwelling and several accessory structures, and is primarily used for a nursery and landscape maintenance business. Access to the property is via an existing driveway from Dixon Avenue West.

IV. PROJECT DESCRIPTION:

The proposed facility includes an 80-foot-tall co-locatable monopole wireless communication facility painted "Threshold Taupe" (Attachment C) to blend in with the surrounding environment. Associated equipment includes 12 antennas, eight (8) radio units and three (3) surge suppressors mounted at 76' centerline and two (2) equipment cabinets (with space for a third for a future colocation) and an emergency diesel generator with a 210-gallon fuel tank located within a 40' x 50' lease area enclosed by a wooden fence.

Access will be provided via the existing driveway from Dixon Avenue West and a new non-exclusive access and utility easement. The easement will provide for improvement of the existing on-site access road to ensure adequate vehicular access to the site and facilitate electrical service from an existing utility pole to the facility. The unmanned facility does not require additional utilities or infrastructure. The site is typically serviced once per month by a maintenance technician.

V. ANALYSIS:

A. General Plan Consistency:

The project is proposed on land designated Agriculture by the Solano County General Plan (Figure LU-1 Land Use Diagram). The project as designed and conditioned is consistent with General Plan goals and policies including, but not limited to, those related to public safety and emergency response, protection of scenic resources, and land use development.

Wireless facilities are required to be of the minimum functional height, with additional provisions for co-location. Facilities sited more than $\frac{3}{4}$ of a mile from designated scenic corridors are limited to 65 feet in

height. A bonus of 20 additional feet up to a maximum height of 105 feet is permissible, for operators collocating on a single tower.

The project is not located within $\frac{3}{4}$ miles of a scenic corridor and has been designed to be of the minimum functional height for Verizon to meet its technical service objective. The proposal is designed to accommodate a future co-locator in addition to Verizon, promoting efficient use of the infrastructure and minimizing the need for additional future towers in the vicinity.

B. Zoning Consistency:

The subject property is located within the Exclusive Agriculture "A-40" zoning district. This district requires issuance of a use permit to authorize new wireless communications facilities subject to conditional approval by the Planning Commission.

Wireless facilities are required to be of the minimum functional height, with additional provisions for co-location. Facilities sited outside of $\frac{3}{4}$ miles of designated scenic corridor are limited to 65 feet in height. A bonus of 20 additional feet up to a maximum height of 105 feet is permissible, for operators collocating on a single tower.

The project is not located within $\frac{3}{4}$ miles of a scenic corridor and has been designed to be of the minimum functional height for Verizon to meet its technical service objective. The proposal is designed to accommodate two future co-locators in addition to Verizon, promoting efficient use of the infrastructure and minimizing the need for additional future towers in the vicinity.

As designed, the proposal is consistent with zoning regulations pertaining to new wireless communication facilities sited outside of a designated scenic corridor and is consistent with the 105-foot maximum height limitation for new, co-locatable facilities.

Alternatives Analysis

Per Section 28.81(F) of the Zoning Regulations, an Alternatives Analysis has been provided as required for any facility requiring a use permit before the Planning Commission. The Alternatives Analysis considers alternative locations and designs for the proposed facility, including those alternative sites which would not require a use permit. At a minimum, alternatives included in the analysis include:

1. Co-location at all existing wireless communications facilities whether in the unincorporated County, a city, or an adjacent county.
2. Lower, more closely spaced wireless communications facilities, and
3. Mounting on any existing non-residential structure within 2-miles of the proposed facility in unincorporated Solano County.

The project proponent has provided an Alternatives Analysis (included in Attachment D) which identifies alternative sites within a two-mile search radius representing the area in which a deficit in coverage was detected. The alternative locations considered were ultimately rendered not feasible due to the existing sites being located too far from the area requiring additional coverage, already in use by Verizon, or unable to accommodate the required equipment at the necessary height in the case of existing PG&E towers or other existing buildings.

Design Consistency with the Surrounding Environment

The environment surrounding the proposed facility is a rural agrarian landscape characterized by flat, open

agricultural land, waterways, rural residences, and single-story accessory structures such as outbuildings and barns.

The “Threshold Taupe” monopole has been sited and designed to blend with the existing environment to the maximum extent feasible. The facility would be located at the rear corner of the property adjacent to a stand of existing trees, the most predominant feature in the immediate area. These trees serve to reduce the visual impact of the proposed facility, particularly when viewed from Dixon Avenue West.

A painted monopole design is recommended due to the flat, rural agricultural nature of the vicinity and the lack of dense, tall vegetation or other vertical structures to act as a substantial backdrop for a stealth facility. Due to a lack of any predominant vertical structures in the vicinity, the painted monopole contains less mass than common stealth options such as trees, windmills and water towers, and helps preserve the existing agrarian aesthetic.

Section 28.21 of the Zoning Regulations encourages the use of stealth designs. To that end, the applicant has proposed a monopole design painted “Threshold Taupe” to blend into the surroundings and create the least possible visual impact.

Radio-Frequency Exposure Review

Per Section 28.81(H) of the Zoning Regulations, a Radio Frequency “RF” Environmental Evaluation Report was provided which demonstrates that RF emissions from the facility in combination with existing RF emissions from nearby facilities will meet the current FCC adopted exposure standard.

The project proponent has provided a radio frequency - electromagnetic energy (RF-EME) compliance report (Attachment F) prepared by EnviroBusiness, Inc. (EBI) Consulting to determine RF-EME exposure levels from proposed Verizon wireless communications equipment at this site. As described in the RF report, the Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) Limits for general public exposures and occupational exposures.

In summary, based on worst-case predictive modeling, there are no modeled exposures on any accessible ground level-walking/working surface related to Verizon’s equipment in the area that exceed the FCC’s occupational and/or general public exposure limits at this site. The predicted exposures are identified at the ground level in the horizontal transmission path of the antennas. Only those accessing this ground level or those elevated to this plane will encounter the exposures identified above.

In conclusion, signage is not required, and the site is compliant with FCC rules and regulations.

C. Airport Land Use Compatibility

As seen in the Travis AFB Land Use Compatibility Plan, the project is located within Compatibility Zone “E” which prohibits hazards to flight and requires Airport Land Use Commission (ALUC) review for objects taller than 200 feet above ground level (AGL). At 80 feet Above Ground Level (AGL) this project is consistent with the ALUC guidelines and does not require further review.

ENVIRONMENTAL ANALYSIS:

D. Environmental Determination:

The Department of Resource Management is recommending that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or

Conversion of Small Structures. This exemption consists of construction and location of limited numbers of new, small facilities or structures, and installation of small new equipment and facilities in small structures. The guidelines state examples including, but not limited to, utility extensions and appurtenant structures.

The project consists of a new cellular tower and associated equipment, contained within a 2,500 square foot lease area. There is no evidence in the record that the project would result in substantial, or potentially substantial, adverse environmental changes to any of the physical conditions within the area, including land, air, water, minerals, flora, fauna, ambient noise, or objects of historic or aesthetic significance. It has been determined that the project is not in an environmentally sensitive location, is not on a hazardous waste site, will not cause substantial change in the significance of a historical resource, and will not result in damage to scenic resources within a scenic highway. Staff therefore recommends that the project be found categorically exempt from CEQA under CEQA Guidelines Section 15303.

E. Good Neighbor Outreach Policy

On April 9, 2024, the Board of Supervisors, adopted a Good Neighbor Policy that encourages project proponents engage with the community to increase transparency and public dialogue prior to the formal public hearing process.

The applicant mailed a notification with a description of the proposed project (Attachment H) to property owners within ½ mile of the project site in early January 2025 and did not receive any responses from the public.

F. Tolling Agreement

Pursuant to Federal Communications Commission review timeline established in 47 CFR § 1.6003(c)(iv) “Shot Clock”, the applicant and the County have entered into a tolling agreement agreeing to an extension of reasonable time for review and processing this use permit application. This agreement was made in part to allow the applicant additional time to revise its initial submittal to address issues identified in the project review and provide updated application materials. The current tolling agreement is in place through April 8, 2025 (Attachment G).

G. Public Notice

Consistent with Sections 28.106 and 28.04 of the Solano County Code, a public hearing notice was published in the Daily Republic at least 15 days prior to the public hearing. In addition, all property owner’s within ½ mile of the project site received written public notice.

H. Agency Review

As part of the Department of Resource Management development review process, the application materials have been reviewed by various County Departments, as well as Local and Regional agencies. The following entities may have jurisdiction over the project and comments received have been incorporated as conditions of approval.

Local Agencies

Dixon Fire Protection District

RECOMMENDATION:

After conducting the public hearing, staff recommends that the Planning Commission approve Use Permit application U-24-08 by Verizon to establish a wireless communications facility at 5778 Dixon Avenue West.

ALTERNATIVES:

The Planning Commission, upon completion of a public hearing on this matter, may choose to:

1. Continue the public hearing to allow for the collection of additional information required to render a decision. If continued, the Commission would establish the date to continue the hearing; or
2. Deny the Use Permit. This is not recommended because the mandatory findings have been made and the project is consistent with the applicable General Plan land use designation and land use regulations as conditioned.

ATTACHMENTS:

- A. Draft Resolution & Conditions of Approval
- B. APN Map
- C. Letter with color samples
- D. Project Support Statement (with alternatives analysis and photo simulations)
- E. Development Plans
- F. Radio-frequency Evaluation Report
- G. Tolling Agreement
- H. Good Neighbor notice
- I. Good Neighbor report
- J. Vicinity Map
- K. Public Notice

SOLANO COUNTY PLANNING COMMISSION RESOLUTION NO. XX

WHEREAS, the Solano County Planning Commission has considered Use Permit Application No. U-24-08 by **Complete Wireless Consulting, Inc for Verizon** to establish a new wireless communication facility consisting of an 80' monopole within a 2,500 square foot lease area located at 5778 Dixon Avenue West, located one mile east of the City of Dixon in the Exclusive Agriculture 40-acre minimum (A-40) zoning district, APN 0109-020-080; and

WHEREAS, the Commission has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on February 20, 2025; and

WHEREAS, after due consideration, the Planning Commission has made the following findings in regard to said proposal:

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the County General Plan with regard to traffic circulations, population densities and distribution, and other aspects of the General Plan.**

The operation and maintenance of a wireless communication facility is consistent with the goals, objectives, and policies of the Solano County General Plan, including but not limited to the Land Use, Resources, and Public Facilities and Service Chapters.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

The proposed non-exclusive access and utility easement will facilitate electrical service from an existing utility pole to the facility, and existing on-site roads will be improved to provide adequate vehicular access to the site. The unmanned facility does not require additional utilities or infrastructure.

- 3. The subject use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

As conditioned, the proposed wireless communication facility will not constitute a nuisance to surrounding properties, nor will it be detrimental to the health, safety, or welfare of County residents. The Radio Frequency emissions report prepared for the project indicates that the facility will follow applicable Federal Communications Commission Rules and Regulations for RF emission.

- 4. The proposed facility complies with all applicable sub-sections of Section 28.81 "Wireless Communications Facilities" of the Solano County Zoning Regulations.**

The facility is allowed in the Exclusive Agriculture "A-40" zoning district with issuance of a use permit and is consistent with all applicable Land Use Regulations in Section 28.81 of the Solano County Code.

5. No alternative site or design is available that would allow for issuance of a Use Permit before the Zoning Administrator for the facility.

The applicant has submitted an Alternatives Analysis which describes other locations in the vicinity that were considered. Its conclusion is that there are no other existing wireless facilities or other structures within the vicinity of sufficient height and with the capacity to install the required equipment. The Alternative Analysis shows that the proposed location will vastly improve 4G, 5G, LTE services within this portion of Solano County and the City of Dixon. The proposed location will provide the least intrusive location and design that will fill Verizon's significant gap in coverage.

6. The Radio Frequency (RF) Environmental Evaluation Report for the facility shows that the cumulative radio-frequency energy emitted by the facility and any near-by facilities will be consistent with FCC regulations.

7. The facility blends in with its existing environment and will not have significant visual impacts.

The facility is located outside of the $\frac{3}{4}$ mile scenic corridor; however, conditions of approval ensure the facility blends in with the existing environment to the greatest extent possible. The monopole will be painted Threshold Taupe and wooden-slat fencing will be installed around the proposed lease area to blend with the existing environment.

8. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3), New Construction of Small Structures. A Notice of Exemption shall be filed with the State Clearinghouse and Clerk of the Board.

Class 3 consists of construction and location of limited numbers of small new facilities, equipment, and structures. The guidelines state examples including, but not limited to, utility extensions and appurtenant structures.

The project consists of a new wireless telecommunications facility and associated equipment contained within a 2,500 square foot lease area. There is no evidence in the record that the project would result in substantial, or potentially substantial, adverse environmental changes to any of the physical conditions within the area, including land, air, water, minerals, flora, fauna, ambient noise, or objects of historic or aesthetic significance. The project is not in an environmentally sensitive location, is not on a hazardous waste site, will not cause substantial change in the significance of a historical resource, and will not result in damage to scenic resources within a scenic highway.

BE IT THEREFORE RESOLVED, that the Planning Commission does hereby approve Use Permit application U-24-08 subject to the following recommended conditions of approval:

ADMINISTRATIVE

- 1. Land Use.** Approval is hereby granted to Verizon to construct and operate a wireless communications facility consisting of an 80-foot-tall monopole, the project includes (12) antennas, (9) radio units, (3) surge suppressors along with cabling, utility cabinets, and meters within the 25' x 45' fenced lease area. The proposed use shall be established in accord with use permit application U-24-08 and preliminary development plans (as revised and dated November 20, 2024) by Sun State Towers, and as approved by the Solano County Planning Commission.

2. **Permit Term.** Pursuant to Section 28.81(J) of the Wireless Ordinance, the subject use permit shall be valid for a 10-year period until February 20, 2035.
3. **Renewal.** The permit term may be extended administratively by the Zoning Administrator upon verification of the permit holder's continued compliance with the findings and conditions of approval. A Land Use Renewal application shall be submitted to the Planning Services Division prior to the expiration of the permit term.
4. **Revisions or Modifications in Land Use.** No additional land uses, activities for new or expanded buildings shall be established beyond those identified on the approved development plan dated November 20, 2024, and detailed within the project description without prior approval of a revision, amendment, or a new use permit and subsequent environmental review.
5. **Removal Upon Discontinuation of Use.** All equipment associated with the wireless communications facility shall be removed within 90 days of discontinuation of the uses and the site shall be restored to its original pre-construction condition. The operators agree to such removal and allow the County access across private property to affect such removal. Written verification of the removal of the wireless communications facility shall be provided to the Planning Services Division within 90 days of discontinuation of use.
6. **Security to Provide for Removal of Equipment.** Prior to building permit issuance, the applicant or permittee shall provide a bond, cash, or other surety, to the satisfaction of the Department of Resource Management, for the removal of the facility in the event that the use is abandoned, or the use expires, or is revoked, or is otherwise terminated. The amount of security shall be based on a cost estimate provided by a contractor or other qualified professional to the satisfaction of the Director of Resource Management. If the permittee does not remove any obsolete or unused facilities as described above, the financial guarantee shall be used by the County to remove any obsolete or unused facilities and to return the site to its pre-development condition. A financial assurance must be irrevocable and not cancellable, except by the County. Each form of financial assurance must remain valid for the duration of the permit and for six months following termination, cancellation, or revocation. Any unused financial guarantee shall be returned to the applicant upon termination of the use and removal of the facility, or transfer of the lease accompanied by the financial guarantee by the new lessee or owner.

Action Required	When	Verified by	Date
Provide financial assurance for future removal	Prior to Building Permit application		

7. **Indemnification.** By acceptance of this permit, the permittee and its successors in interest agree that the County of Solano, its officers and employees shall not be responsible for injuries to the property or persons arising from the issuance or exercise of this permit. The permittee shall defend, indemnify and hold harmless the County of Solano, its officers and employees from all claims, liabilities, losses or legal actions arising from any such injuries. The permittee shall reimburse the County for all legal costs and attorney's fees related to litigation based on the issuance and/or interpretation of this permit. This agreement is a covenant that runs with the land and shall be binding on all successors in interest of the permittee.
8. **Failure to Comply.** Failure to comply with any of the conditions of approval or limitations set forth in this permit shall be cause for the revocation of the Use Permit and cessation of the permitted uses at the Permittee's expense.

GENERAL WIRELESS COMMUNICATIONS FACILITY STANDARDS

9. **Design Consistency with the Surrounding Environment.** To the maximum extent feasible, the facility shall blend in with the predominant features of the existing natural and/or built environment. To this end, the facility shall be painted Threshold Taupe to blend in with surrounding features.
10. **Screening.** The facility shall be screened to the maximum extent possible. To this end, the facility shall utilize minimum 6-foot-tall wooden fencing around the 2,500 square foot lease area.
11. **Radio-frequency exposure.** Prior to operation of the facility, the permittee shall comply with all requirements of the Federal Communications Commission including RF signage. Signage shall be consistent with the recommended signage/compliance plan contained in the provided RF report.
12. **Cabling.** All visible cabling between equipment and antennas shall be routed within the building wherever feasible. Cabling on the exterior of a building or monopole shall be located within cable trays painted to match. All cabling shall be performed in accordance with the NEC.
13. **Painting and Lighting.** The facility shall be generally unlit except when authorized personnel are present at night. All facilities shall be painted or constructed of materials to minimize visual impact.
14. **Noise.** The facility shall be designed to minimize noise and adhere to a maximum exterior noise level of 65 dB at the facility site's property lines.
15. **Accessory Structures.** Enclosures and cabinets housing equipment shall meet setback and height restrictions. Such structures shall appear architecturally compatible with their surroundings and be designed to minimize their visual impact. To meet this requirement, underground vaults may be required.
16. **Roads and Parking.** The facility shall be served by the minimum roads and parking areas necessary and shall use existing roads and parking areas whenever possible.
17. **Provisions for Future Co-location.** The facility shall be encouraged to promote future facility and site sharing.
18. **Underground Utilities.** All on-site utility lines leading to and connecting the leased areas and equipment shelters shall be located underground.
19. **Facility Maintenance.** All facility components including, but not limited to, tower, antennas, microwave dishes, remote radio units, equipment cabinets, and fencing shall be maintained in good condition, including ensuring the facilities are reasonably free of:
 - Rust and corrosion;
 - Chipped, faded, peeling and cracked paint;
 - Graffiti, bill, stickers, advertisements, litter and debris; and
 - Broken or misshapen structural parts

The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts which constitute a hazard or nuisance to surrounding properties.

The premises shall be maintained in a neat and orderly manner and kept free of accumulated debris and junk

BUILDING & SAFETY DIVISION

- 20. Building Permit.** Prior to any construction or improvements taking place, a building permit application shall first be submitted as per Section 105 of the California Building Code or the latest edition of the codes enforced at the time of building permit application. “Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.”

Action Required	When	Verified by	Date
File building permit as necessary	Prior to construction		

ENVIRONMENTAL HEALTH DIVISION

- 21. Hazardous Materials Business Plan.** The facility shall create and maintain a Hazardous Materials Business Plan (HMBP) on the California Environmental Reporting System (CERS) within 30 days of bringing reportable quantities of hazardous materials, including diesel, onto the site. The storage, handling, and/or use of hazardous materials in reportable quantities greater than 55 gallons of liquid, 200 cubic feet of compressed gas, and/or 500 pounds of solid material, triggers the HMBP requirement. The HMBP shall be updated at least once per year for as long as reportable quantities of hazardous materials are onsite.

Action Required	When	Verified by	Date
File HMBP as necessary	Once reportable quantities are exceeded		

PUBLIC WORKS - ENGINEERING

- 22. Grading Permit.** Applicant shall apply for, secure, and abide by the conditions of a grading permit for the construction of any improvements required by this Use Permit. The permittee shall apply for, secure and abide by the conditions of a grading permit for any grading on the property including, but not limited to, building site preparation, access improvements, parking areas and walkways, as well as any onsite grading exceeding a total of 5,000 square feet. In addition, Grading Permits shall be secured for any future grading or drainage improvements on the property. Public Works Engineering will require the submittal of a drainage plan showing all offsite and onsite improvements necessary to manage storm water issues related to this development. Agricultural soil cultivation does not require a grading permit.

Action Required	When	Verified by	Date
File grading permit	Prior to construction		

- 23. Encroachment Permit.** Applicant shall apply for, secure, and abide by the conditions of an encroachment permit for any work within the public right-of-way. Driveways must be

maintained in such a manner as to prevent soil, rocks, and debris from tracking onto public roads.

Action Required	When	Verified by	Date
File encroachment permit	Prior to construction		

- 24. Easements.** A draft copy of the Grant of Easement and Legal Description of the required Access and Utility Easements shall be submitted for review to the County. While not required by code, a plat to accompany the Legal description is highly encouraged per the accepted standards of practice.

Action Required	When	Verified by	Date
Submit legal descriptions	Filing grading and/or encroachment permits		

I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Planning Commission on February 20, 2025 by the following vote:

AYES: Commissioners _____

NOES: Commissioners _____

ABSTAIN: Commissioners _____

ABSENT: Commissioners _____

Paula Bauer, Chairperson
Solano County Planning Commission

Attest:

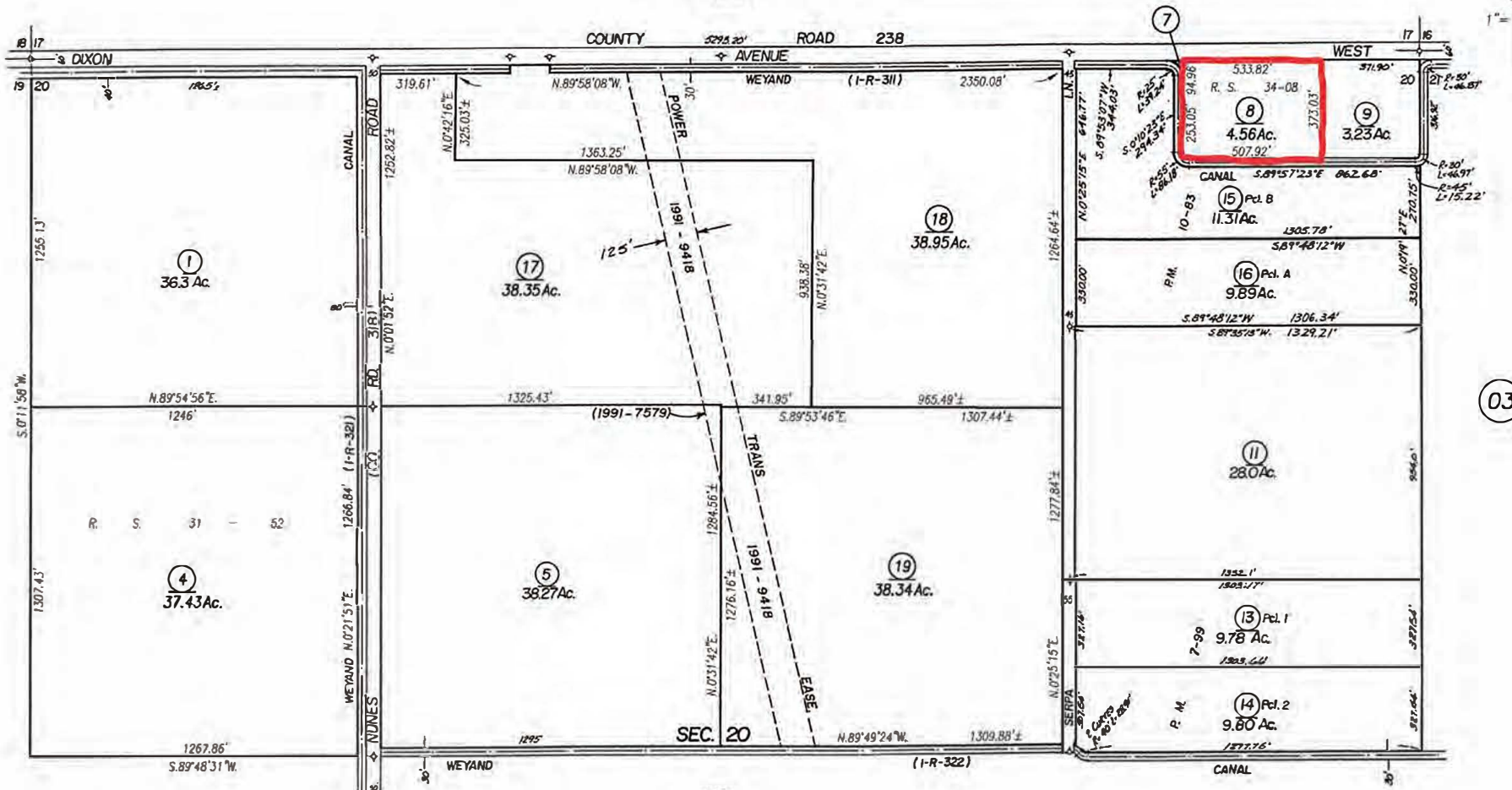
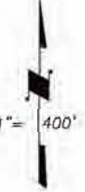
By: _____
James Bezek, Secretary

N. 1/2 SEC. 20, T.7N., R.1E., M.D.B.& M.

Tax Area Code
63025

109-02

Bk.
108



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01

03

05

REVISION	DATE	BY
020-08 (Rs)	6-18-19	Cr
020-04 (Rs)	6-9-14	DV
020-17,18,19 (Dd)	4-5-13	Cr
EASE	2-5-91	SS

NOTE: This map is for assessment purposes only. It is not intended to define legal boundary rights or imply compliance with land division laws.

Assessor's Map Bk. 109 Pg. 02
County of Solano, Calif.

20-21

Assessor's Block Numbers Shown in Ellipses, Assessor's Parcel Numbers Shown in Circles



November 20th, 2024

Via Email




Solano County Resource Management
Planning Services Division
675 Texas Street Ste 550
Fairfield, CA 94533
Attn: Travis Kroger

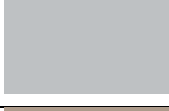
Re: Verizon Wireless and Sun State Towers U-20-08 Application NOI Response Letter, 5778 Dixon Avenue West, Dixon CA 95620 (APN 0109-020-080); Site Name: Dixon Pitt

Dear Mr. Kroger,

Please find enclosed updated site plans and surveys with the requested changes. The site plans have been updated to show the location of a future colocator and the survey has been updated per the County Surveyor's comments. (Please note a new architect has taken over the project and the formatting of the drawings is visually different, but the design has not otherwise changed.)

Additionally, per your request, please find below samples of potential paint colors for the facility. To ensure conformity, all colors have been selected from available Sherwin Williams exterior colors. The light reflective value of all SW colors is ranked from 0 to 100, with 0 reflecting no light and 100 reflecting all light. To minimize visibility, Verizon does not paint wireless facilities using any color with an LRV above 55. All of the selected colors comply with this requirement.

	SW 6240, Windy Blue, LRV 48. https://www.sherwin-williams.com/en-us/color/color-family/blue-paint-colors/SW6240-windy-blue
	SW 9049, Sky Fall, LRV 51 https://www.sherwin-williams.com/en-us/color/color-family/blue-paint-colors/SW9049-sky-fall
	SW 9063, Porch Ceiling, LRV 53, https://www.sherwin-williams.com/en-us/color/color-family/purple-paint-colors/SW9063-porch-ceiling
	SW 7660 Earl Grey, LRV 32 https://www.sherwin-williams.com/en-us/color/color-family/neutral-paint-colors/SW7660-earl-grey

	SW 7658 Gray Clouds, LRV 47 https://www.sherwin-williams.com/en-us/color/color-family/neutral-paint-colors/SW7658-gray-clouds
	SW 6254 Lazy Gray, LRV 53 https://www.sherwin-williams.com/en-us/color/color-family/neutral-paint-colors/SW6254-lazy-gray
	SW 7501, Threshold Taupe, LRV 34 https://www.sherwin-williams.com/en-us/color/color-family/neutral-paint-colors/SW7501-threshold-taupe
	SW 7512, Pavilion Beige, LRV 48 https://www.sherwin-williams.com/en-us/color/color-family/neutral-paint-colors/SW7512-pavilion-beige
	SW 6733, Grasshopper, LRV 19 https://www.sherwin-williams.com/en-us/color/color-family/green-paint-colors/SW6733-grasshopper
	SW 6738, Vegan, LRV 47 https://www.sherwin-williams.com/en-us/color/color-family/green-paint-colors/SW6738-vegan

I can be reached at 916-764-2632 or by email if you would like to discuss.

Sincerely,



Kevin Gallagher
KGallagher@completewireless.net

Enclosures

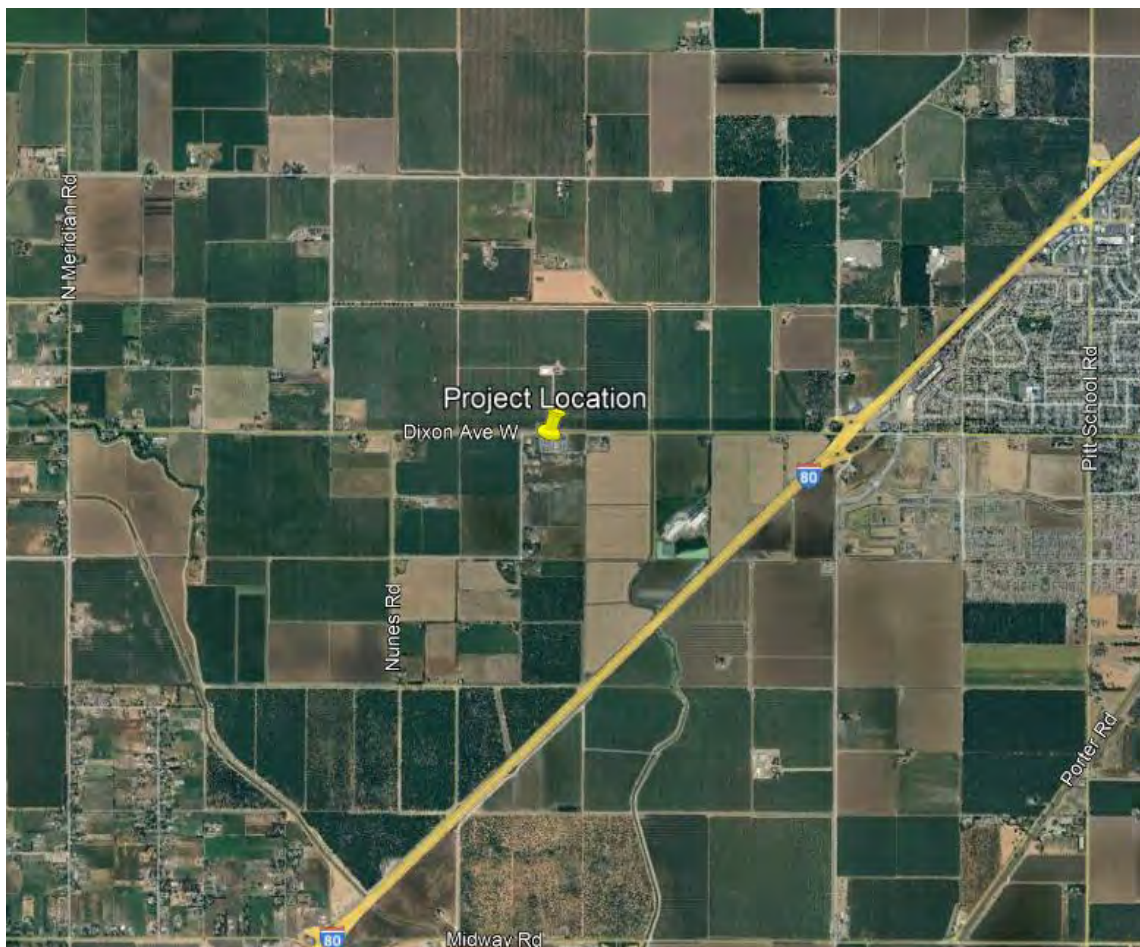
VERIZON WIRELESS PROJECT SUPPORT STATEMENT

Site Name: Dixon Pitt
Address: 5778 Dixon Avenue West, Dixon, CA 95620
APN: 0109-020-080

INTRODUCTION & FACILITY DESCRIPTION

The demand for wireless and data services continues to grow across California. Access to the wireless network has become vital as individuals increasingly rely on handheld and mobile devices as their primary method of communication. Verizon Wireless constantly seeks to improve its wireless network through industry-leading techniques and innovative solutions to respond to high levels of wireless network traffic and increased user demand. This proposal for a new wireless telecommunications facility is an essential part of the effort to continuously improve the Verizon network for future and potential customers. The facility is designed to comply with all Solano County rules and regulations.

This is a proposal for a new freestanding wireless facility, to provide improved coverage and capacity between Vacaville and Dixon, in an area ranging past Siever Road to the North and Midway Road to the South. The proposed facility is the least intrusive means for Verizon to close a significant gap in network coverage.



Verizon Wireless Site: Dixon Pitt
5778 Dixon Ave West, Dixon, CA; APN 0109-020-080

DESIGN AND LOCATION

The project is located on a 4.56 acre parcel zoned Exclusive Agriculture (A-40) 1.2 miles west of the City of Dixon. The surrounding properties are also zoned A-40. The property serves as the headquarters and staging area for a landscaping business.

Project Location



The facility has been designed at the minimum functioning height necessary to provide service. Antennas and radios would be mounted on at 80' tall monopole, for a total facility height of 80'. The monopole would be engineered to allow for colocation and would be placed within a 50' by 50' fenced compound with ample space for Verizon's ground equipment and the equipment of additional future carriers. Verizon's ground equipment two equipment cabinets (with space for a third) and a 30 kW emergency backup generator with a 210 gallon diesel fuel tank. The compound would be secured by a 6' tall chain link fence, topped with barbed wire.

Verizon Wireless Site: Dixon Pitt
5778 Dixon Ave West, Dixon, CA; APN 0109-020-080

View from Dixon Avenue West looking southwest at site:



view from Dixon Avenue West looking southwest at site

AdvanceSim
Photo Simulation Solutions
Contact (925) 202-8507

verizon

Dixon Pitt
5778 Dixon Avenue West, Dixon, CA
Photosims Produced on 3-15-2024

Verizon Wireless Site: Dixon Pitt
5778 Dixon Ave West, Dixon, CA; APN 0109-020-080

DESCRIPTION OF COVERAGE AREA

A confidential engineering packet depicting confidential and proprietary information on the Verizon network has been submitted depicting existing coverage and capacity in the area for review. In summary, the proposed facility is designed to solve two issues. One, there is a gap in 5G coverage between Dixon and Vacaville. Two, there is also a lack of 4G coverage caused by a lack of capacity, with sites serving the area severely congested. Four sites serving Dixon and the surrounding area, including I-80 and I-505, are overloaded, with average traffic usage 1.6 times the normal operating condition of a cell site. These four overloaded sites are all located approximately 3 miles away, one to the southwest, one to the southeast, one to the east, and one to the northeast.

Overloaded sites result in reduced network throughput, which degrades network performance, leading to an increase in dropped calls, poor download speeds, and poor service. The site is being proposed as a four sector site to minimize the number of facilities needed and is being proposed at the minimum functioning height to achieve the coverage objective.

Aerial of Approximate Coverage and Capacity Area



Verizon Wireless Site: Dixon Pitt
5778 Dixon Ave West, Dixon, CA; APN 0109-020-080

ALTERNATIVES ANALYSIS

- **7699 Batavia Rd, Dixon California.** 1.2 Miles east. Private property containing two existing monopole style wireless facilities. The location is too close to an existing Verizon Wireless facility to be able to meet the coverage objective.
- **7804 Leisure Town Rd, Vacaville:** 2.9 miles west. Private property containing an existing monopole style wireless facility. Facility is too far west and too close to existing Verizon facilities to meet the coverage objective.
- **5634 Dixon Avenue West, Dixon:** 0.5 miles southwest. This colocation would be unable to meet the coverage gap due to equipment limitations on PG&E facilities. This is true of all PG&E towers in the area.
- **Other Existing Wireless Facilities in the Area:** Verizon Wireless is present on all other wireless facilities in the area, the locations of which are noted in the engineering packet. Prior to building a new site, Verizon Engineers first work to verify whether equipment upgrades or changes on existing facilities could solve the network issues. That has been done in this case.
- **Other Structures Within Two Miles:** Aside from the structures noted above, there are no other buildings within two miles of the proposed facility taller than two stories.
- **Multiple Smaller Sites:** Per the County code, Verizon has also considered multiple smaller sites, but they would not be feasible given the surrounding area is rural and not densely populated. The facility is comparable to other sites in the area that have been previously approved and fits the character of the subject project and the surrounding area.

Conclusion

Although the proposed facility is located in a rural area, there are considerable demands on the network, resulting in poor service in the surrounding area. The facility has been designed to function at the minimum height needed to provide improved coverage to the surrounding rural area. In addition, it has been placed such that it can offload four existing overburdened sites as well, thereby significantly improving wireless service over a broad area.

ADDITIONAL INFORMATION

Safety Benefits of Improved Wireless Service

Verizon Wireless offers its customers multiple services such as voice calls, text messaging, mobile email, picture/video messaging, mobile web, navigation, broadband access, V CAST, and E911 services. Mobile phone use has become an extremely important tool for first responders and serves as a back-up system in the event of a natural disaster. Verizon will install a standby generator at this facility to ensure quality communication for the surrounding community in the event of a natural disaster or catastrophic event. This generator will be fully contained within the equipment shelter and will provide power to the facility if local power systems are offline.

Maintenance

Verizon installs standby generators and backup batteries at all its cell sites. The batteries play a vital role in Verizon's emergency and disaster preparedness plan. In the event of a power outage, the back-up generator will automatically start and continue to run the site for up to 24 hours. The standby generator

Verizon Wireless Site: Dixon Pitt
5778 Dixon Ave West, Dixon, CA; APN 0109-020-080

will operate for approximately 15 minutes per week for maintenance purposes and will only be tested during the daytime. Back-up generators allow Verizon's sites to continue providing valuable communications services in the event of a power outage, natural disaster or other emergency. Following construction, a small sign indicating the facility owner and a 24-hour emergency telephone number will be provided on site.

Parking & Traffic

The facility is unmanned and will operate 24 hours a day, seven days a week. A technician will occasionally visit the facility to service the equipment, approximately once a month. There will no other visitors or guests associated with the facility.

Construction Schedule

The construction of the facility will follow all local rules and regulations. The crew size will range from two to ten individuals. The construction phase of the project will last approximately two months and will not exceed acceptable noise levels.

Compliance with FCC Standards

This project will not interfere with any TV, radio, telephone, satellite, or other signals. Any interference would be against federal law and a violation of Verizon's FCC license. An RF report verifying compliance with FCC guidelines is included with this submittal.

Environmental Assessment

A study verifying compliance with FCC EME regulations has been included as part of this application.

Airports

There are no airports or airstrips within five miles of the proposed facility.

Water Usage

As the facility is unmanned and no landscaping is proposed, there will be no impact on water usage on the property.

Notice of Actions Affecting Development Permit

In accordance with California Government Code Section 65945(a), Verizon requests notice of any proposal to adopt or amend the: general plan, specific plan, zoning ordinance, ordinance(s) affecting building or grading permits that would in any manner affect this development permit. Any such notice may be sent to 2009 V Street, Sacramento, CA 95818.

Geil Engineering
Engineering * Surveying * Planning
1226 High Street
Auburn, California 95603-5015
Phone: (530) 885-0426 * Fax: (530) 823-1309

Project Name: Dixon Pitt
Project Site Location: 5778 Dixon Avenue W
Dixon, CA 95620
Solano County
Parcel Number: 0109-020-080
Date of Observation: 01-23-24

Equipment/Procedure Used to Obtain Coordinates: Trimble Pathfinder GeoXT post processed with Pathfinder Office software.

Type of Antenna Mount: Proposed Monopole

Coordinates

Latitude:	N 38°26'41.75" (NAD83)	N 38°26'42.08" (NAD27)
Longitude:	W 121°52'51.14" (NAD83)	W 121°52'47.27" (NAD27)
Latitude:	N 38.444930° (NAD83)	N 38.445021° (NAD27)
Longitude:	W 121.880873° (NAD83)	W 121.879798° (NAD27)

ELEVATION of Ground at Structure (NAVD88) 78.5' AMSL

CERTIFICATION: I, the undersigned, do hereby certify elevation listed above is based on a field survey done under my supervision and that the accuracy of those elevations meet or exceed 1-A Standards as defined in the FAA ASAC Information Sheet 91:003, and that they are true and accurate to the best of my knowledge and belief.


Daniel G. Geil LS 7640



03/11/2024

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SUN STATE TOWERS

CA19-195 COLT/ DIXON PITT
APN: 0109-020-080
5778 DIXON AVE W.
DIXON, CA 95620
SOLANO COUNTY

SITE DIRECTIONS
 DEPART SACRAMENTO INTERNATIONAL AIRPORT, HEADING SOUTH ON AIRPORT BLVD. KEEP RIGHT TO MERGE ONTO I-5, THEN CONTINUE FOR 8 MILES UNTIL YOU REACH EXIT 537. TAKE EXIT 537. THEN TURN LEFT ONTO CA-113/ E. MAIN ST. CONTINUE FOR 0.5 MILES, THEN TURN LEFT ONTO CA-113 S. TOWARD DAVIS. CONTINUE ON CA-113 S. FOR 1.1 MILES, THEN KEEP LEFT TO TAKE EXIT 26A FOR I-80 W. MERGE ONTO I-80 W. THEN CONTINUE FOR 6.7 MILES UNTIL YOU REACH EXIT 63/ DIXON AVE/ W. A ST. TAKE EXIT 63. THEN MERGE ONTO SCHROEDER RD. THEN KEEP RIGHT TO MERGE ONTO DIXON AVE W. MERGE ONTO DIXON AVE W., THEN CONTINUE FOR 1.1 MILES UNTIL YOU REACH THE DESTINATION ON LEFT.



PROJECT DESCRIPTION
SCOPE OF WORK

- INSTALL (1) NEW 80'-0" MONOPOLE
- INSTALL NEW 40'-0"x50'-0"x6'-0" TALL WOOD FENCE
- INSTALL (2) NEW 6'-0" WIDE ACCESS SWING GATES
- INSTALL NEW 25'-0"x14'-0" CONCRETE PAD
- INSTALL NEW 9'-0"x10'-0" CONCRETE PAD
- INSTALL NEW PAD MOUNTED ELECTRICAL TRANSFORMER
- INSTALL NEW 600A ELECTRICAL SWITCHGEAR
- INSTALL NEW ELECTRICAL SERVICE
- INSTALL NEW TELCO SERVICE
- INSTALL NEW UNDERGROUND CONDUITS
- INSTALL (3) NEW H-FRAMES
- INSTALL NEW FIBER JUNCTION BOX
- INSTALL (1) NEW FIBER VAULT
- INSTALL NEW ANTENNA MOUNT PER TES REPORT #XXXXXXX, DATED XXXXXX (UNDER SEPARATE COVER)
- INSTALL (9) NEW ANTENNAS
- INSTALL (6) NEW REMOTE RADIO HEADS
- INSTALL (3) NEW OVPS
- INSTALL (6) NEW 6X12 HYBRID CABLES
- INSTALL NEW OUTDOOR MISC. CABINET
- INSTALL NEW OUTDOOR POWER CABINET
- INSTALL NEW 30KW DIESEL GENERATOR
- INSTALL (4) NEW TECH LIGHTS W/ 60 MINUTE TIMER
- INSTALL (1) NEW GPS ANTENNA
- INSTALL (1) NEW INTEGRATED LOAD CENTER
- INSTALL (1) NEW TELCO CABINET
- INSTALL (1) NEW FIRE EXTINGUISHER
- INSTALL NEW ICE-BRIDGE
- INSTALL (5) NEW CONCRETE BOLLARDS
- INSTALL (2) NEW REMOVABLE BOLLARDS

CONTACT INFORMATION
CLIENT:
 SUN STATE TOWERS
 1426 N. MARVIN STREET #101
 GILBERT, AZ 85233
 CONTACT: CHAD WARD
 PHONE: (602) 463-9514
 SITE ID: CA19-195
 SITE NAME: COLT

PROPERTY OWNER:
 WHIKOKVALVAL LLC
 5778 DIXON AVE W.
 DIXON, CA 95620
 CONTACT: BRENDA BRAY
 PHONE: (707) 425-3822

CONSTRUCTION MANAGER:
 VERIZON
 2770 SHADELANDS DR.
 BUILDING 11
 WALNUT CREEK, CA 94598
 CONTACT: NIKKI JASON
 PHONE: (916) 201-9392

SITE ACQUISITION:
 COMPLETE WIRELESS
 CONSULTING INC.
 2009 V STREET
 SACRAMENTO, CA 95818
 CONTACT: PAUL BARNES
 PHONE: (916) 217-2309

ENGINEER:
 PINNACLE CONSULTING, INC.
 1426 N. MARVIN STREET #101
 GILBERT, AZ 85233
 CONTACT: KYLE FORTIN, PE
 PHONE: (623) 217-4235

PROJECT DATA
CLIENT: A-40
PARCEL #: 0109-020-080
CONSTRUCTION TYPE: V-B
OCCUPANCY TYPE: U - UNMANNED COMMUNICATIONS
POWER COMPANY: PG&E
NEW LEASE AREA: 2000 SQ. FT
JURISDICTION: SOLANO COUNTY
GOVERNING CODES:
 2022 CALIFORNIA ADMINISTRATIVE CODE
 2022 CALIFORNIA BUILDING CODE (CBC)
 (2021 IBC AND 2022 CALIFORNIA AMENDMENTS)
 2022 CALIFORNIA ELECTRIC CODE
 (2020 NEC AND 2022 CALIFORNIA AMENDMENTS)
 2022 CALIFORNIA MECHANICAL CODE
 (2021 UMC AND 2022 CALIFORNIA AMENDMENTS)
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 (2021 IFC AND 2022 CALIFORNIA AMENDMENTS)
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA REFERENCED STANDARDS
 ANS/IEE-TIA-222-REV. H

ALL BUILDING CODES LISTED ABOVE SHALL INCLUDE AMENDMENTS BY THE GOVERNING JURISDICTION

NEW SITE LOCATION

LATITUDE	38.444930°	38° 26' 41.75" N [NAD83]
LONGITUDE	-121.880673°	-121° 52' 51.14" W [NAD83]
GROUND ELEVATION		78.5 [NAVD98]

GENERAL NOTES

1. THIS WIRELESS TELECOMMUNICATIONS FACILITY WILL MEET THE HEALTH AND SAFETY STANDARDS FOR ELECTROMAGNETIC FIELD EMISSIONS AS ESTABLISHED BY THE FEDERAL COMMUNICATIONS COMMISSION OR ANY SUCCESSOR THEREOF, AND ANY OTHER FEDERAL OR STATE AGENCY.
2. THIS WIRELESS TELECOMMUNICATIONS FACILITY WILL MEET THE REGULATIONS OF THE FEDERAL COMMUNICATIONS COMMISSION REGARDING PHYSICAL AND ELECTROMAGNETIC INTERFERENCE.
3. LIGHTING OR SIGNS WILL BE PROVIDED ONLY AS REQUIRED BY FEDERAL OR STATE AGENCIES.
4. DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT WILL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
5. EXISTING PARKING IS NOT AFFECTED BY THIS PROJECT.
6. THIS PROJECT DOES NOT INCLUDE WATER OR SEWER.
7. THIS PROJECT INCLUDES C-BAND INSTALLATION.
8. POST MODIFICATION INSPECTION (PMI) REQUIRED PER TOWER ENGINEERING SOLUTIONS, LLC (T.E.S.) MOUNT ANALYSIS REPORT #XXXXXXX, DATED XXXX/XXXX.

APPROVALS

[RF]: _____ DATE: _____

[CONST.]: _____ DATE: _____

[RE]: _____ DATE: _____

LANDLORD: _____ DATE: _____

PREPARED FOR:

1426 NORTH MARVIN STREET #101
 GILBERT, AZ 85233
 PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER:

2770 SHADELANDS DR. BUILDING 11
 WALNUT CREEK, CA 94598

CONSULTING FIRM

Site Acquisition | Engineering | Construction
 1426 N. MARVIN STREET # 101
 GILBERT, AZ 85233

PROJECT NO: CA19-195 COLT
 DRAWN BY: CDA
 CHECKED BY: KF

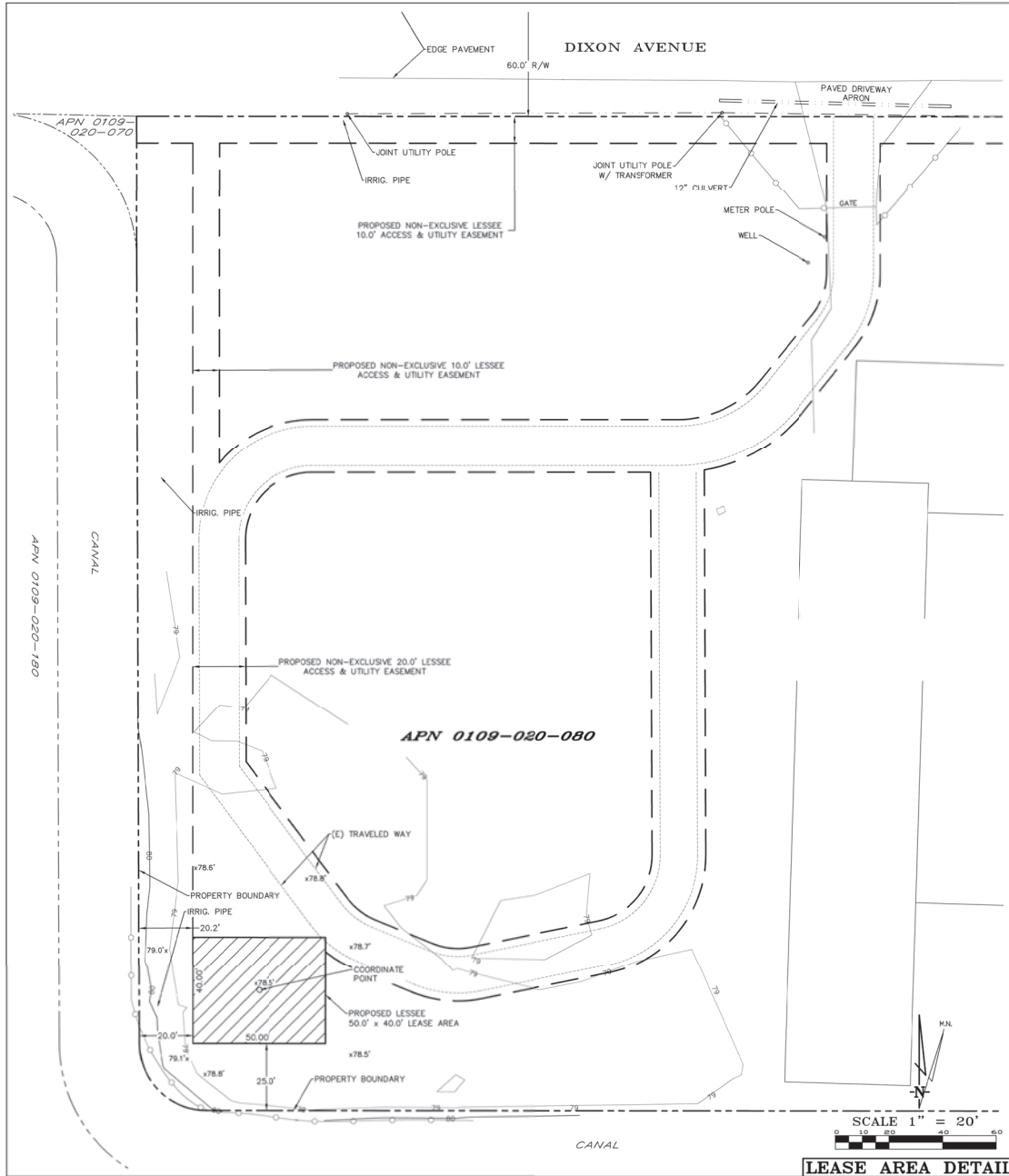
REV	DATE	DESCRIPTION	BY
A	11/07/24	ISSUED FOR REVIEW	CDA

**FOR REVIEW
 ONLY NOT
 FOR
 CONSTRUCTION**

CA19-195 COLT/
 DIXON PITT
 5778 DIXON AVE W.
 DIXON, CA 95620
 SOLANO COUNTY

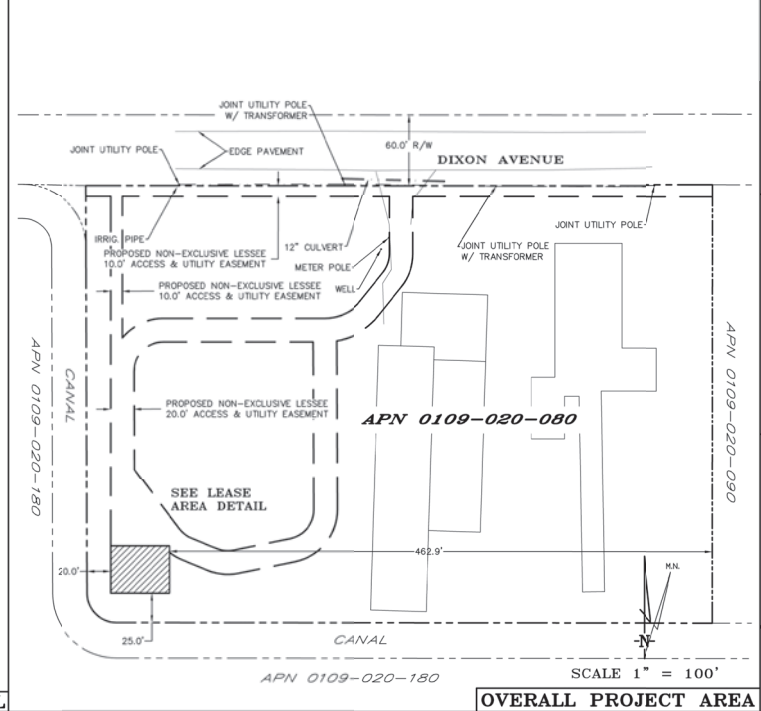
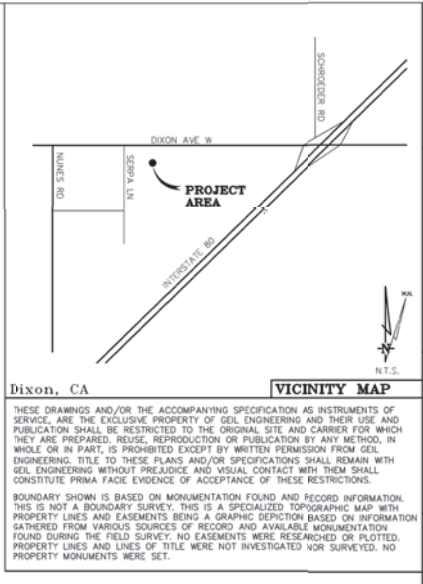
SHEET TITLE
PROJECT INFORMATION

SHEET NUMBER
T-1



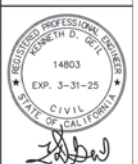
LEASE AREA DETAIL

Project Name: Deon Pitt
 Project Site Location: 5778 Dixon Avenue W
 Dixon, CA 95620
 Solano County
 Parcel Number: 0109-020-080
 Date of Observation: 01-23-24
 Equipment/Procedure Used to Obtain Coordinates: Trimble Pathfinder GeoXT post processed with Pathfinder Office software.
 Type of Antenna Mount: Proposed Monopole
 Coordinates
 Latitude: N 38°26'41.75" (NAD83) N 38°26'42.08" (NAD27)
 Longitude: W 121°52'51.14" (NAD83) W 121°52'47.27" (NAD27)
 Latitude: N 38.444930° (NAD83) N 38.445021° (NAD27)
 Longitude: W 121.880877° (NAD83) W 121.879798° (NAD27)
 ELEVATION of Ground at Structure (NAVD88) 78.5' AMSL
 DATE OF SURVEY: 01-23-24
 SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEL, R.C.E. 14803
 LOCATED IN THE COUNTY OF SOLANO, STATE OF CALIFORNIA
 BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.
 ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 FEMA FIRM ZONE "X" PER FIRM 06095C0175F DATED 08/02/2012.
 N.G.V.D. 1929 CORRECTION: SUBTRACT 2.59' FROM ELEVATIONS SHOWN.
 CONTOUR INTERVAL: 1 FT.
 ASSESSOR'S PARCEL NUMBER: 0109-020-080
 LANDLORD(S): WHKCVLVAL LLC
 P.O. BOX 1507
 DIXON, OR 95620



OVERALL PROJECT AREA

DEPT	APPROVED	DATE
ASC		
RE		
RS		
INT		
CE/IN		
OPS		
ELE/OUT		



Dixon Pitt
 5778 Dixon Avenue W.
 Dixon, CA 95620

REVISIONS	DATE	DESCRIPTION
01-26-24	01-26-24	Preliminary Drawing
02-11-24	02-11-24	Revisions

Sheet
C-1

**PLOT PLAN AND
SITE TOPOGRAPHY**

ALL THAT CERTAIN LEASE AREA BEING A PORTION OF THE REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF SOLANO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO FRANK FEDER BY DEED RECORDED DECEMBER 11, 1939 IN BOOK 207, PAGE 123, INSTRUMENT NO. 7274, OF OFFICIAL RECORDS OF SOLANO COUNTY, AND LYING IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 7 NORTH, RANGE 1 EAST M.D.B. & M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SECTION 20, TOWNSHIP 7, NORTH RANGE 1 EAST, M.D.B. & M., SAID POINT BEING SOUTH 89 DEGREES 49' WEST 371.90 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 20 AND FROM SAID POINT OF BEGINNING PROCEEDING ALONG THE NORTH LINE OF SAID SECTION 20, SAID NORTH LINE BEING THE CENTER LINE OF COUNTY ROAD NO. 238, SOUTH 89 DEGREES 49' WEST 833.82 FEET TO A POINT; THENCE LEAVING SAID SECTION LINE, SOUTH 0 DEGREES 11' EAST 408.00 FEET TO A POINT; THENCE NORTH 89 DEGREES 49' EAST 533.82 FEET TO A POINT; THENCE NORTH 0 DEGREES 11' WEST 408.00 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE PARCEL OF LAND CONVEYED IN THE DEED FROM JAMES C. JAMES, ET UX TO SOLANO IRRIGATION DISTRICT DATED MAY 6, 1960, RECORDED MAY 24, 1960 IN BOOK 1029 OF OFFICIAL RECORDS, PAGE 33, INSTRUMENT NO. 10142.

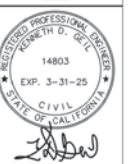
SAID LEASE AREA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST MOST CORNER OF THE ABOVE DESCRIBED PARCEL OF LAND; THENCE ALONG THE WESTERN PARCEL BOUNDARY THEREOF, SOUTH 01°02'33" EAST, A DISTANCE OF 307.98 FEET; THENCE LEAVING SAID WESTERN PARCEL BOUNDARY NORTH 89°49'37" EAST, A DISTANCE OF 20.10 FEET TO THE TRUE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING SOUTH 89°57'23" EAST, A DISTANCE OF 50.00 FEET; THENCE SOUTH 02°23'37" WEST, A DISTANCE OF 46.00 FEET; THENCE NORTH 89°57'23" WEST, A DISTANCE OF 80.00 FEET; THENCE NORTH 02°23'37" EAST, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR ACCESS AND UTILITY PURPOSES, TEN FEET IN WIDTH, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHERN BOUNDARY OF THE ABOVE DESCRIBED PARCEL OF LAND WHICH BEARS SOUTH 89°58'00" EAST, A DISTANCE OF 26.08 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE FROM SAID POINT OF BEGINNING SOUTH 0°00'00" EAST, A DISTANCE OF 307.90 FEET MORE OR LESS TO A POINT ON THE NORTHERN BOUNDARY OF THE ABOVE DESCRIBED LEASE AREA.

ALSO TOGETHER WITH AN EASEMENT FOR ACCESS AND UTILITY PURPOSES, TWENTY FEET IN WIDTH, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHERN BOUNDARY OF THE ABOVE DESCRIBED PARCEL OF LAND WHICH BEARS SOUTH 89°58'00" EAST, A DISTANCE OF 268.85 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE FROM SAID POINT OF BEGINNING SOUTH 0°01'52" WEST, A DISTANCE OF 58.88 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE, CONCAVE TO THE WEST, HAVING A RADIUS OF 35.00 FEET AND A CENTRAL ANGLE OF 38°29'04"; THENCE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 23.51 FEET; THENCE SOUTH 38°30'56" WEST, A DISTANCE OF 30.88 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 51°29'04"; THENCE SOUTHWESTERLY ALONG SAID CURVE, A DISTANCE OF 44.93 FEET; THENCE NORTH 90°00'00" WEST, A DISTANCE OF 136.96 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 35.00 FEET AND A CENTRAL ANGLE OF 90°10'23"; THENCE WESTERLY ALONG SAID CURVE, A DISTANCE OF 55.08 FEET; THENCE SOUTH 01°02'33" EAST, A DISTANCE OF 111.85 FEET; THENCE SOUTH 21°45'49" EAST, A DISTANCE OF 40.02 FEET MORE OR LESS TO A POINT ON THE NORTHERN BOUNDARY OF THE ABOVE DESCRIBED LEASE AREA.

ALSO TOGETHER WITH AN EASEMENT FOR ACCESS AND UTILITIES, BEING TEN FEET IN WIDTH, ADJACENT TO AND SOUTHERLY OF THE NORTHERN PARCEL BOUNDARY.

DEPT	APPROVED	DATE
ABC		
DEF		
GHI		
JKL		
MNO		
PQR		
STU		
VWX		
YZA		

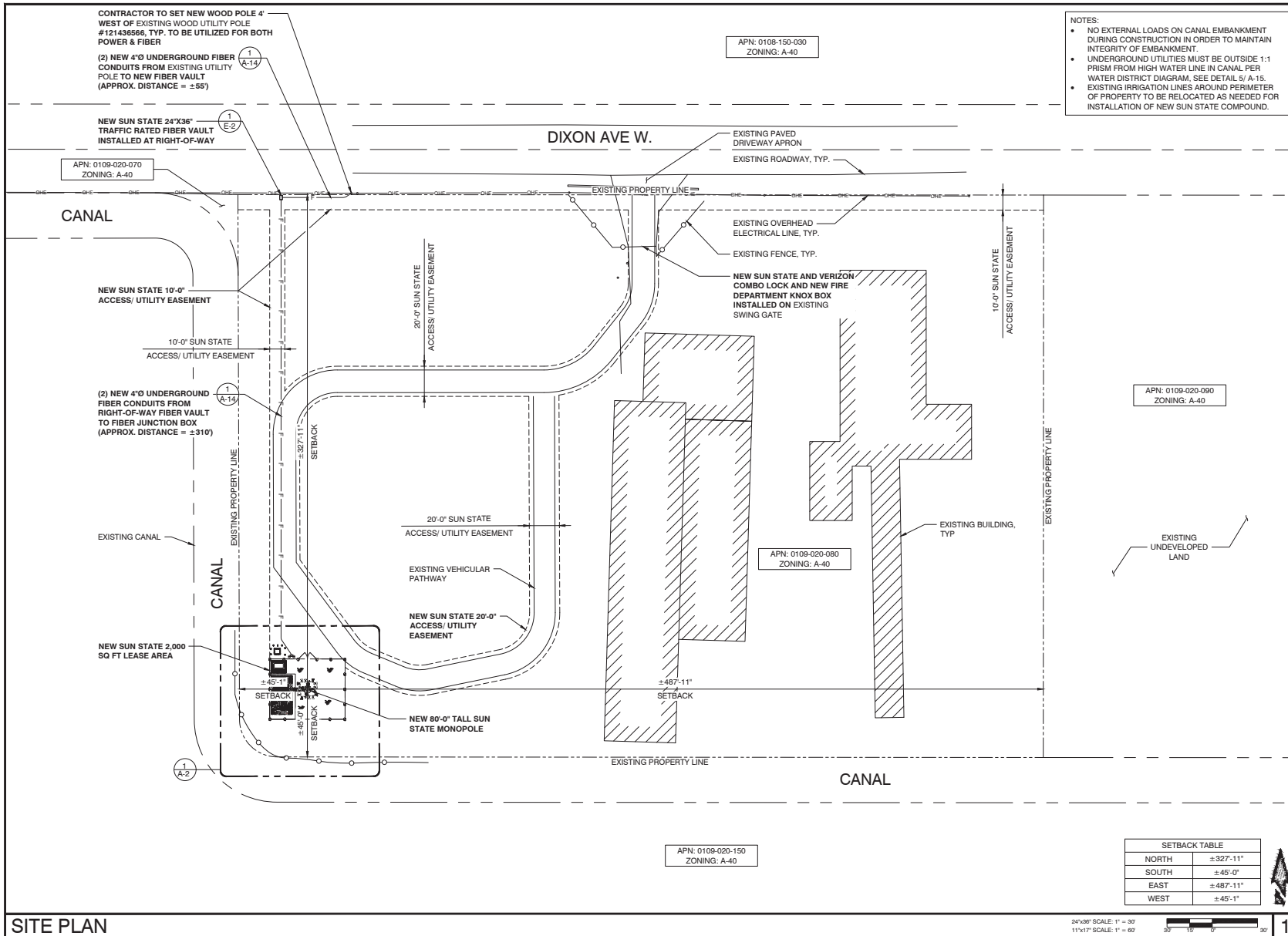


Dixon Pitt
5778 Dixon Avenue W.
Dixon, CA 95620

PLOT PLAN AND
SITE TOPOGRAPHY

Sheet

C-2



- NOTES:
- NO EXTERNAL LOADS ON CANAL EMBANKMENT DURING CONSTRUCTION IN ORDER TO MAINTAIN INTEGRITY OF EMBANKMENT.
 - UNDERGROUND UTILITIES MUST BE OUTSIDE 1:1 PRISM FROM HIGH WATER LINE IN CANAL PER WATER DISTRICT DIAGRAM. SEE DETAIL 5/ A-15.
 - EXISTING IRRIGATION LINES AROUND PERIMETER OF PROPERTY TO BE RELOCATED AS NEEDED FOR INSTALLATION OF NEW SUN STATE COMPOUND.

PREPARED FOR:

SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 - FAX 480-664-9850

CARRIER:

verizon
2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM

PINNACLE CONSULTING, INC
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: CA19-195 COLT
DRAWN BY: CDA
CHECKED BY: KP

REV	DATE	DESCRIPTION	BY
A	11/07/24	ISSUED FOR REVIEW	CDA

**FOR REVIEW
ONLY NOT
FOR
CONSTRUCTION**

CA19-195 COLT/
DIXON PITT
5776 DIXON AVE W.
DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
SITE PLAN

SHEET NUMBER
A-1

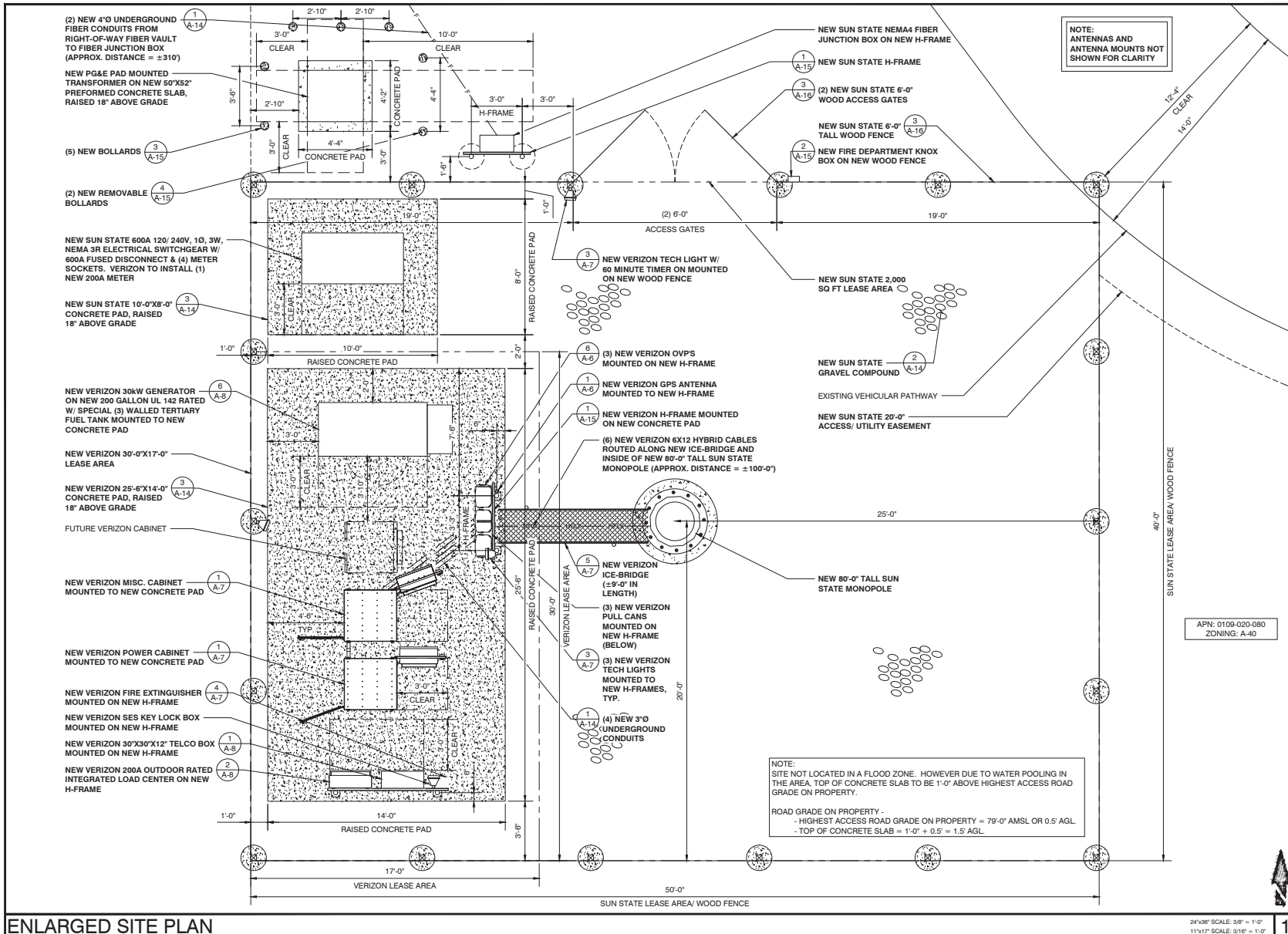
SETBACK TABLE

NORTH	±327'-11"
SOUTH	±45'-0"
EAST	±487'-11"
WEST	±45'-1"



SITE PLAN

1



NOTE:
ANTENNAS AND
ANTENNA MOUNTS NOT
SHOWN FOR CLARITY

APN: 0109-020-080
ZONING: A-40

PREPARED FOR:

SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 - FAX: 480-664-9850

CARRIER:

2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

PINNACLE CONSULTING, INC.
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: CA19-195 COLT
DRAWN BY: CDA
CHECKED BY: KJ

REV	DATE	DESCRIPTION	BY
A	11/07/24	ISSUED FOR REVIEW	CDA

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CA19-195 COLT/
DIXON PITT

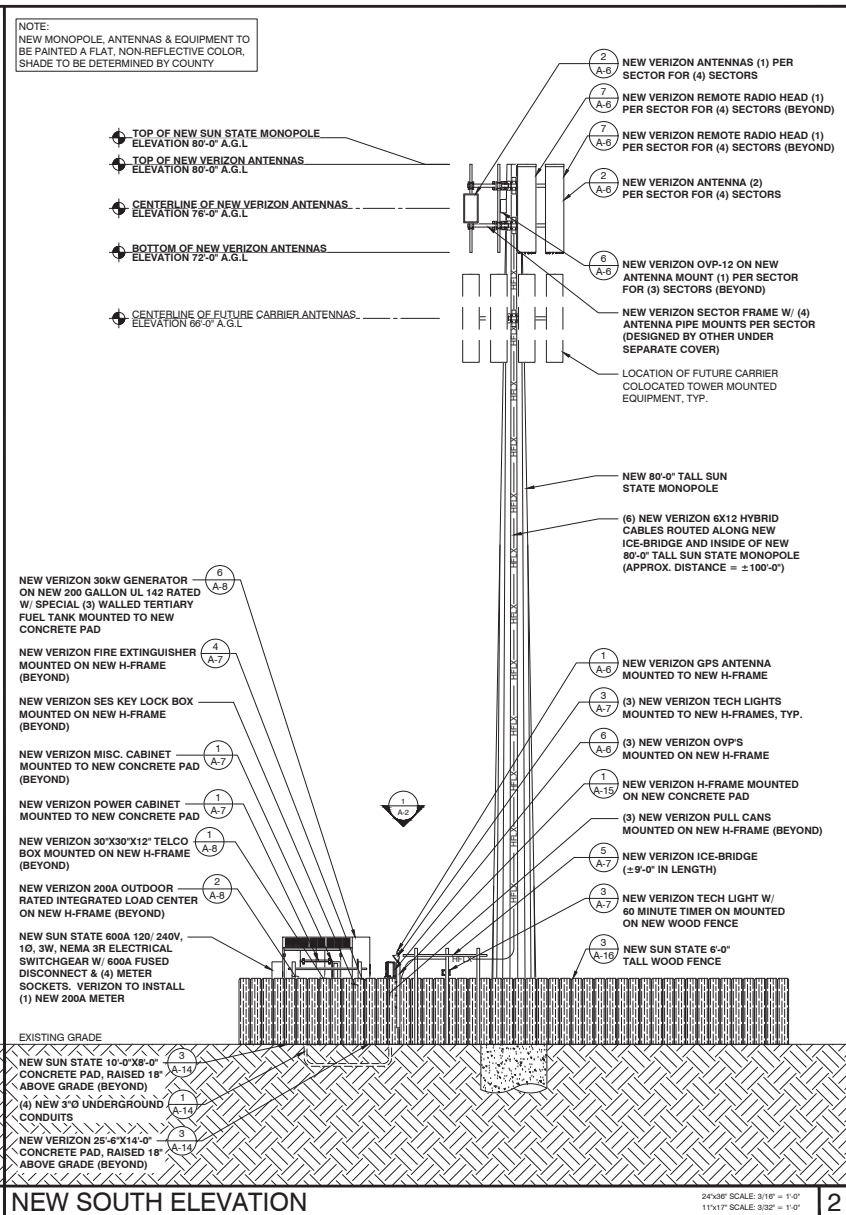
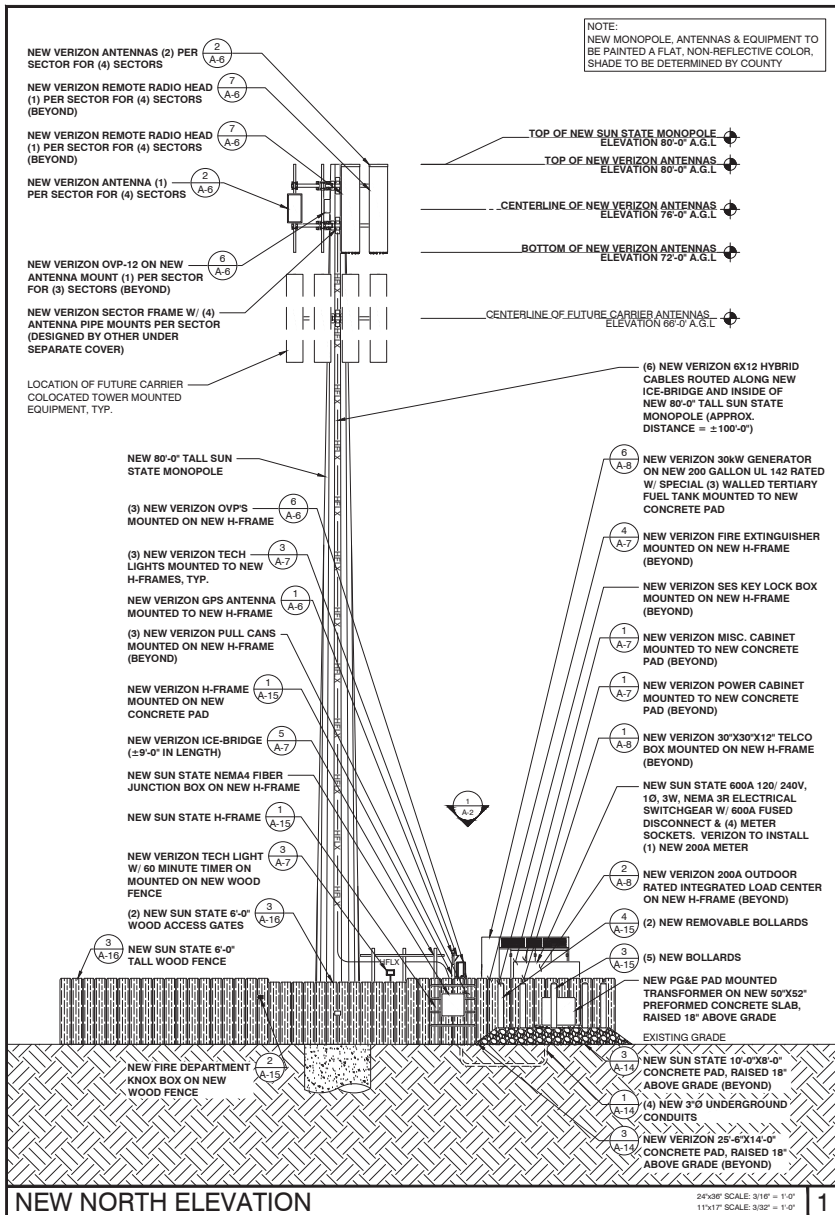
5776 DIXON AVE. W.
DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
A-2

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

ENLARGED SITE PLAN



PREPARED FOR:

SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 - FAX: 480-664-9850

CARRIER:

verizon
2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

PINNACLE CONSULTING, INC.
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
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PROJECT NO: CA19-195 COLT
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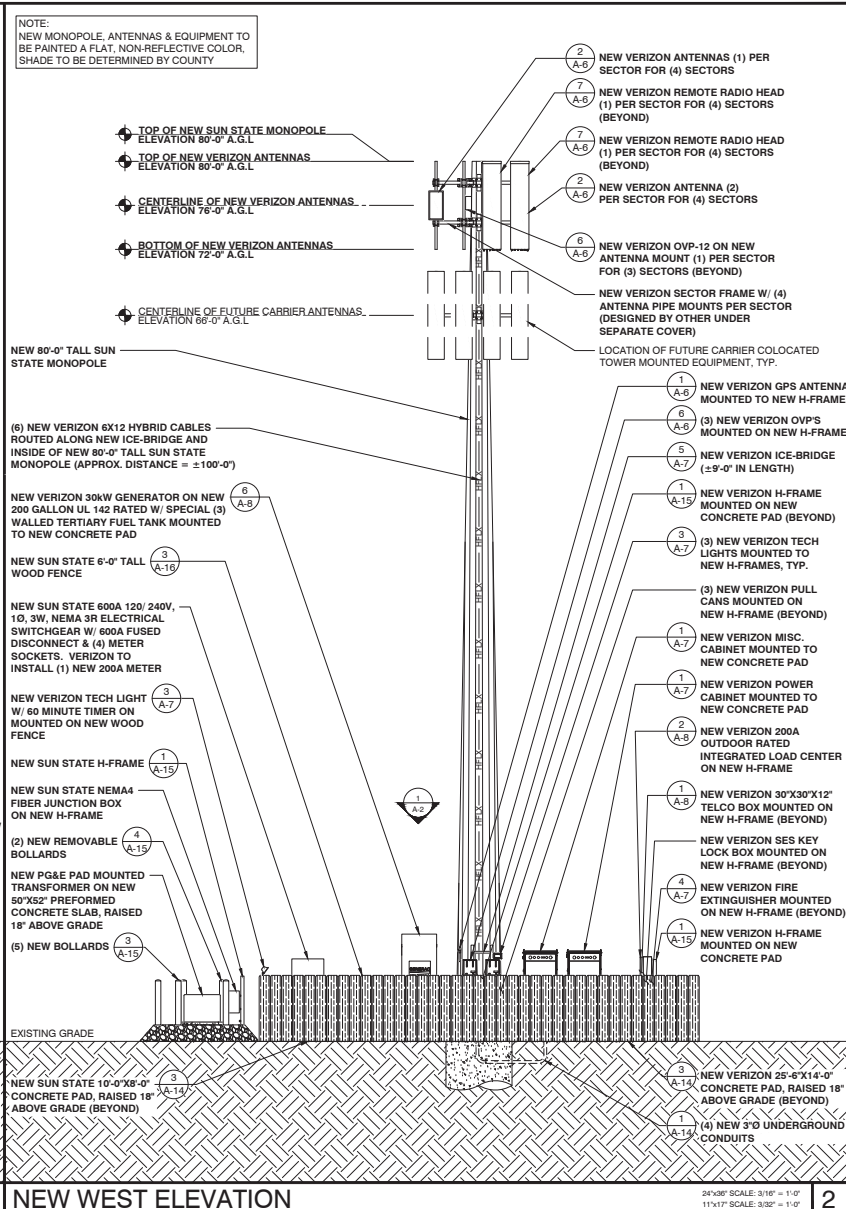
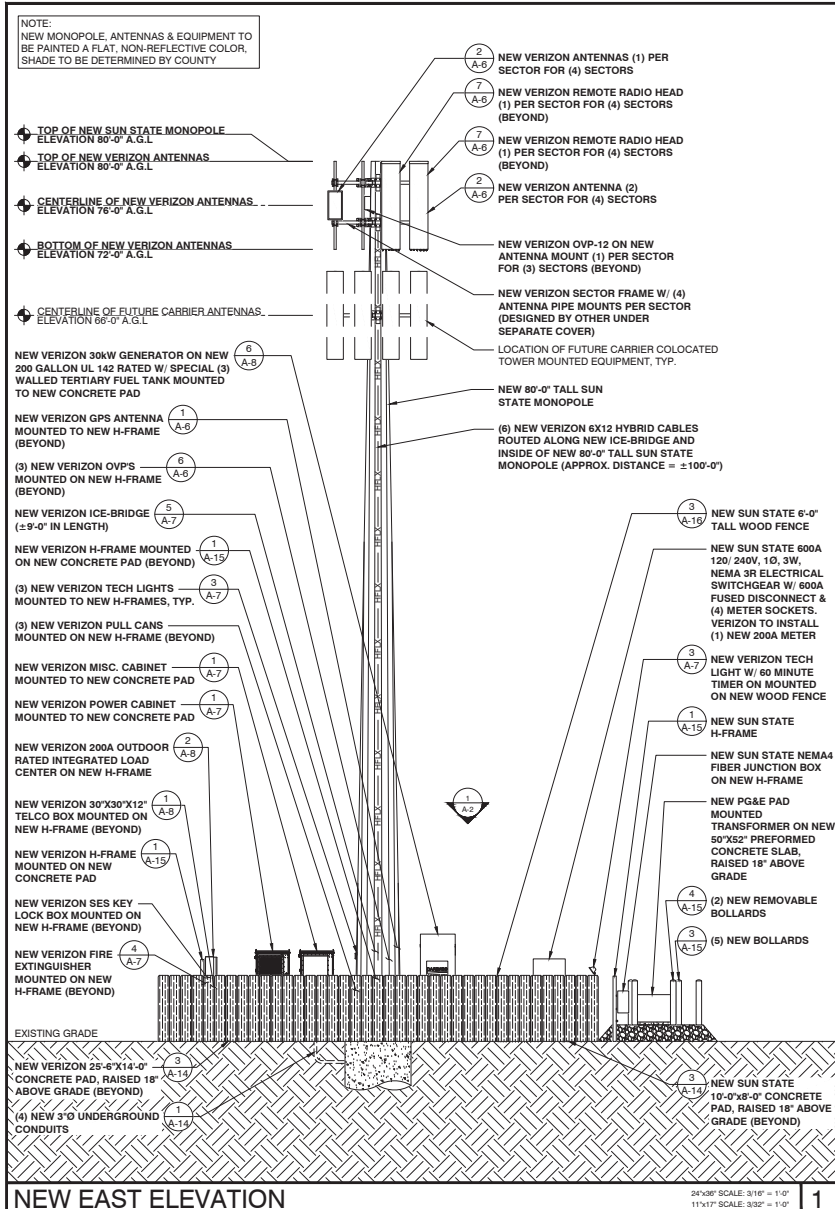
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DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-3



PREPARED FOR:

1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 FAX: 480-664-9650

CARRIER:

2770 SHADLANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

Site Acquisition | Engineering | Construction

1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: CA19-195 COLT

DRAWN BY: CDA

CHECKED BY: KJF

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DIXON PITT

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DIXON, CA 95620
SOLANO COUNTY

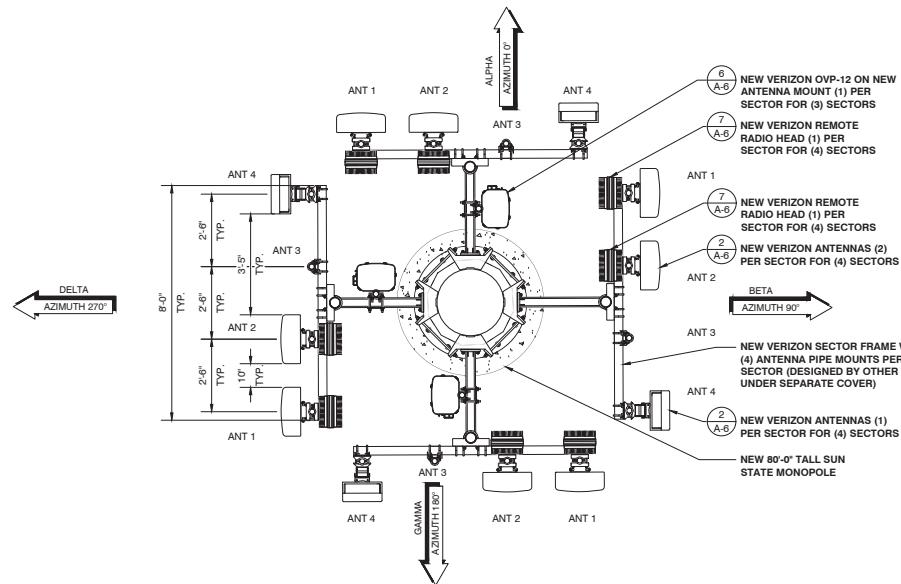
SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-4

ANTENNA & CABLE SCHEDULE (PRELIMINARY & SUBJECT TO CHANGE)

ANTENNAS						RRUS		CABLING							
ANTENNA SECTOR	TECHNOLOGY	ANTENNA MODEL	NO. OF COAX PORTS	CENTER	AZIMUTH	RRU MODEL	NO. OF RRUS	NO. OF HYBRID CABLES	SIZE OF HYBRID CABLES	LENGTH OF CABLES	NO. OF COAX CABLES	COAX DIA.	SURGE SUPPRESSOR	NO. OF DIPLEXERS	NO. OF COMBINERS
ALPHA 1	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	0°	4490	1	1	6X12	100'-0"	-	-	12 PORT OVP	-	-
ALPHA 2	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	0°	4890	1	1	6X12	100'-0"	-	-	SHARED	-	-
ALPHA 3	-	-	-	-	-	-	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
ALPHA 4	C-BAND	ERICSSON AIR 6419	2	76°-0' A.G.L.	0°	INTEGRATED	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
BETA 1	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	90°	4490	1	1	6X12	100'-0"	-	-	12 PORT OVP	-	-
BETA 2	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	90°	4890	1	1	6X12	100'-0"	-	-	SHARED	-	-
BETA 3	-	-	-	-	-	-	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
BETA 4	C-BAND	ERICSSON AIR 6419	2	76°-0' A.G.L.	90°	INTEGRATED	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
GAMMA 1	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	180°	4490	1	1	6X12	100'-0"	-	-	12 PORT OVP	-	-
GAMMA 2	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	180°	4890	1	1	6X12	100'-0"	-	-	SHARED	-	-
GAMMA 3	-	-	-	-	-	-	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
GAMMA 4	C-BAND	ERICSSON AIR 6419	2	76°-0' A.G.L.	180°	INTEGRATED	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
DELTA 1	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	270°	4490	1	SHARED	SHARED	N/A	-	-	SHARED	-	-
DELTA 2	LTE 700, 850, 1900, AWS, AWS3, 5G	JMA MX12FRO845	12	76°-0' A.G.L.	270°	4890	1	SHARED	SHARED	N/A	-	-	SHARED	-	-
DELTA 3	-	-	-	-	-	-	-	SHARED	SHARED	N/A	-	-	SHARED	-	-
DELTA 4	C-BAND	ERICSSON AIR 6419	2	76°-0' A.G.L.	270°	INTEGRATED	-	SHARED	SHARED	N/A	-	-	SHARED	-	-

NOTE:
NEW MONOPOLE, ANTENNAS & EQUIPMENT TO BE PAINTED A FLAT, NON-REFLECTIVE GRAY



PREPARED FOR:

SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 - FAX 480-664-9850

CARRIER:

verizon
2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM

PINNACLE CONSULTING, INC.
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: CA19-195 COLT
DRAWN BY: CDA
CHECKED BY: KP

REV	DATE	DESCRIPTION	BY
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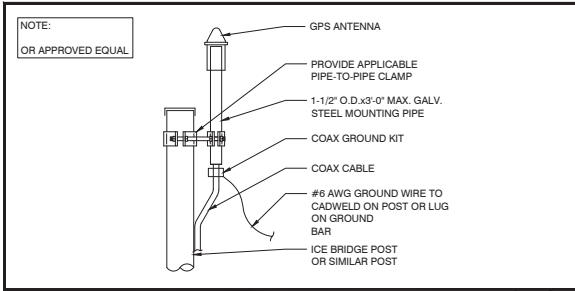
CA19-195 COLT/
DIXON PITT
5776 DIXON AVE. W.
DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
ANTENNA PLAN

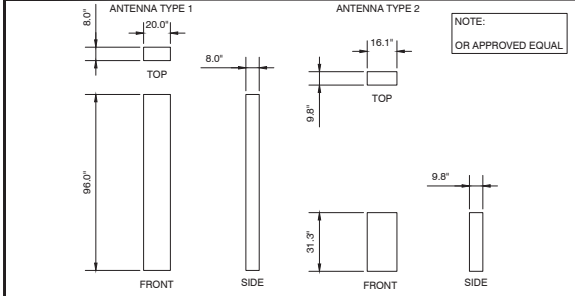
SHEET NUMBER
A-5

ANTENNA & EQUIPMENT PLAN

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

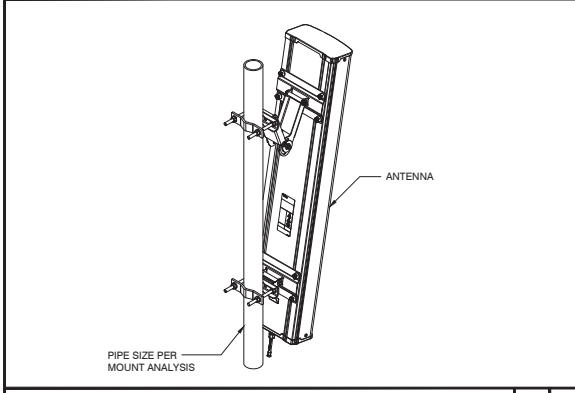


GPS ANTENNA DETAIL SCALE: NTS 1

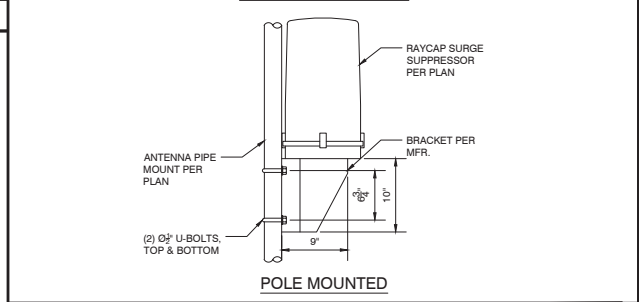
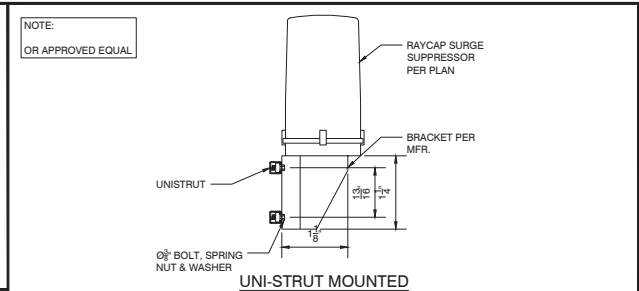


NEW ANTENNA SPECIFICATIONS						
DESCRIPTION	HEIGHT	WIDTH	DEPTH	ANTENNA ONLY WEIGHT	ANTENNA W/MOUNTING BRACKET KIT WEIGHT	
PANEL ANTENNA	96.0"	20.0"	8.0"	85 LBS.	±110 LBS.	
PANEL ANTENNA	31.3"	16.1"	9.8"	71.0 LBS.	±91 LBS.	

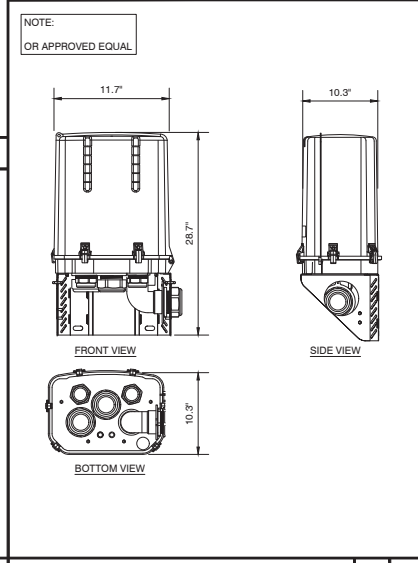
ANTENNA SPECIFICATIONS SCALE: NTS 2



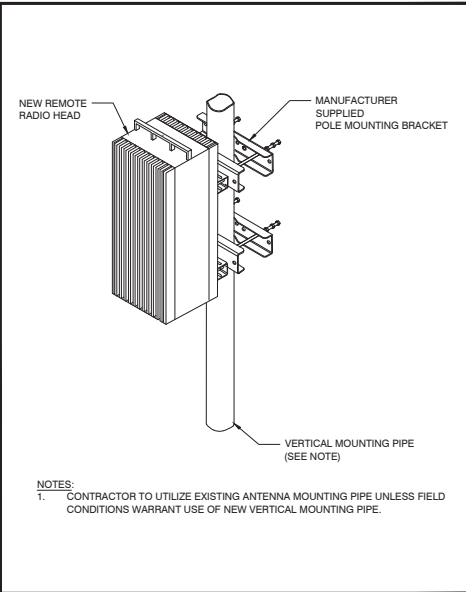
ANTENNA MOUNTING DETAILS SCALE: NTS 5



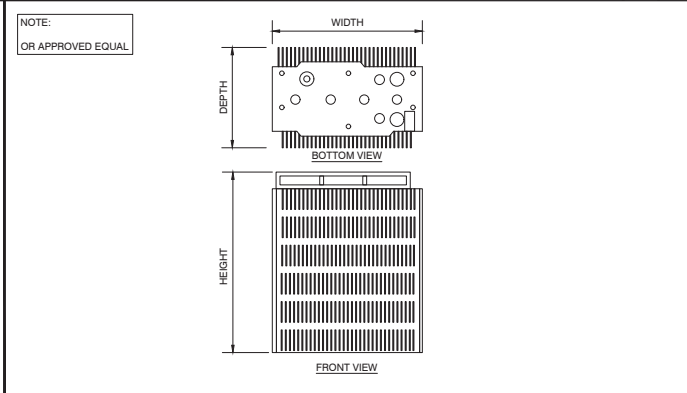
OVP MOUNTING DETAILS SCALE: NTS 3



OVP DETAILS SCALE: NTS 6



RADIO MOUNTING DETAILS SCALE: NTS 4



RRH SCHEDULE								
TECHNOLOGY	BAND	BAND #	TX PWR	MODEL	HEIGHT	WIDTH	DEPTH	WEIGHT W/MOUNT
LTE/5G	700/850 MHz	B5/B13	4X60W	RADIO 4490	20.6"	15.7"	7.0"	68.4 LBS.
LTE	1900/AWS	B2/B66	4X60W	RADIO 4890	20.6"	15.7"	7.2"	69.5 LBS.
-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-

RADIO SPECIFICATIONS SCALE: NTS 7

PREPARED FOR:

1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 - FAX: 480-664-9850

CARRIER:

2770 SHAGELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO:	CA19-195 COLT
DRAWN BY:	CDA
CHECKED BY:	KP

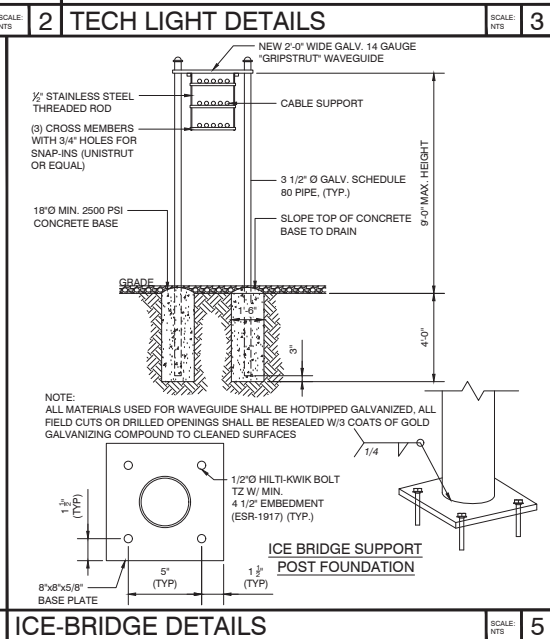
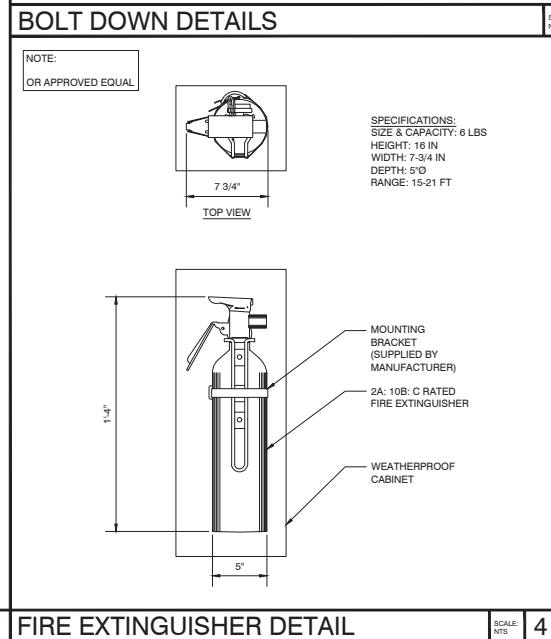
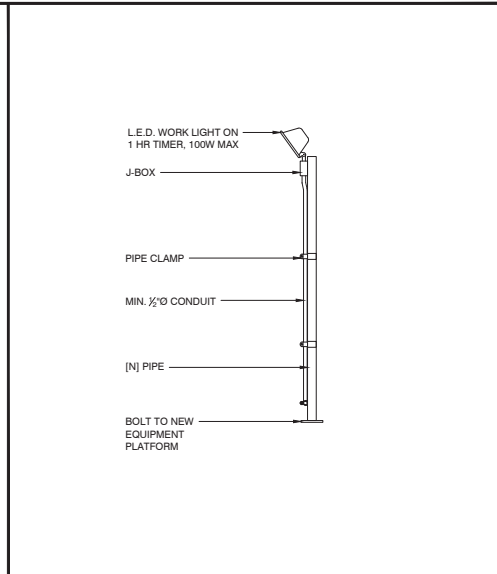
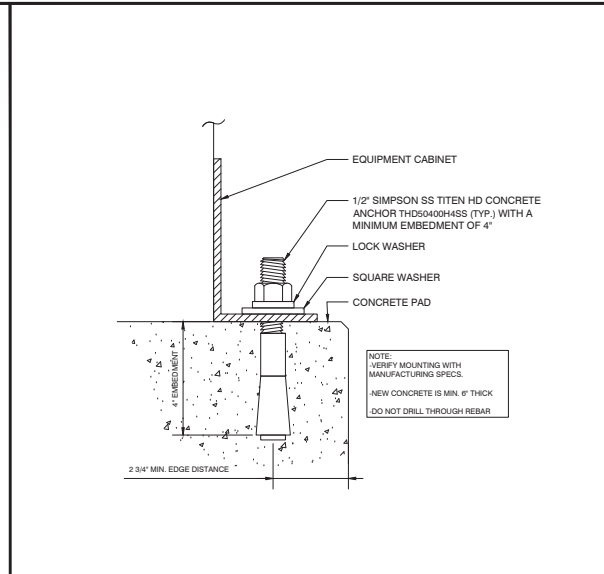
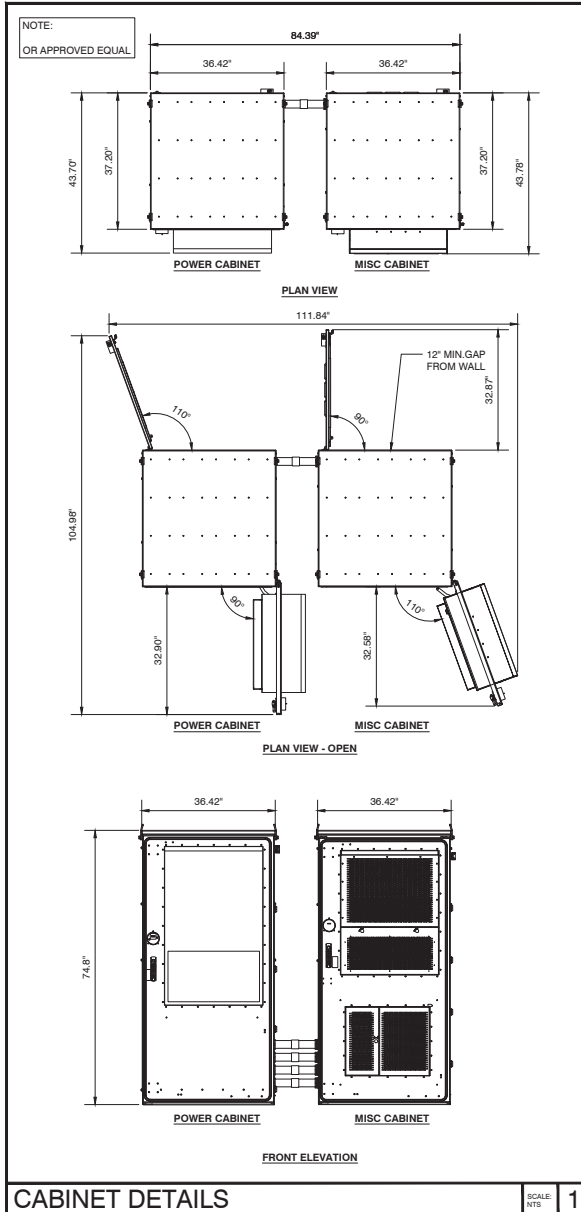
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A	11/07/24	ISSUED FOR REVIEW	CDA

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CA19-195 COLT/
DIXON PITT
5776 DIXON AVE. W.
DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
DETAILS

SHEET NUMBER
A-6



PREPARED FOR:

SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9585 - FAX: 480-664-9850

CARRIER:

verizon
2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

PINNACLE CONSULTING, INC.
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

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SOLANO COUNTY

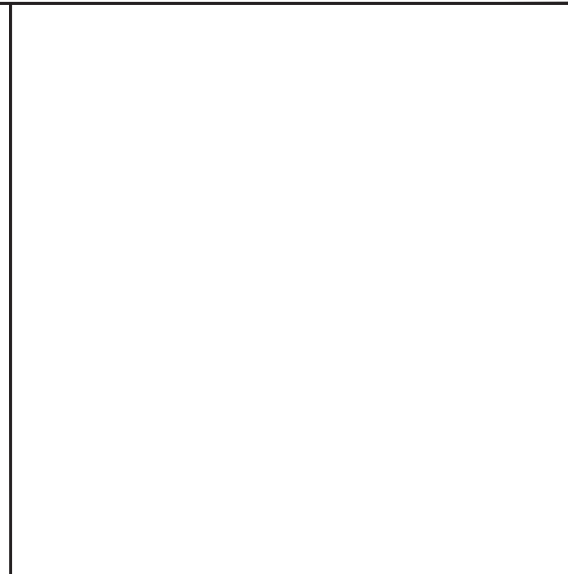
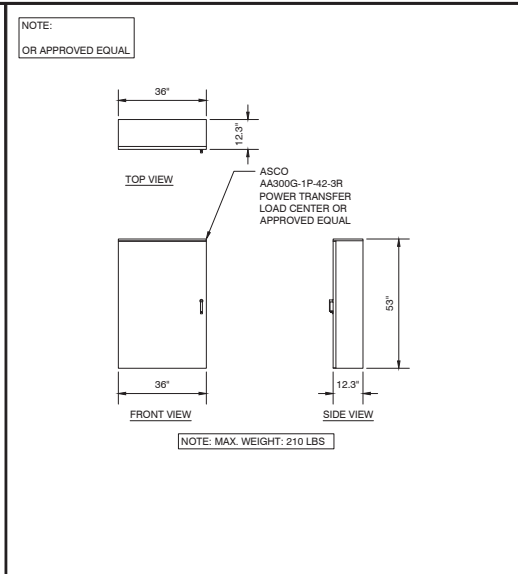
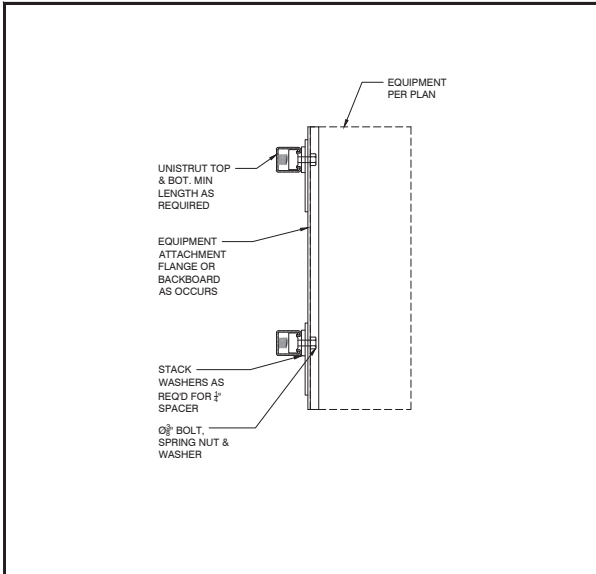
SHEET TITLE
DETAILS

SHEET NUMBER
A-7

CABINET DETAILS

FIRE EXTINGUISHER DETAIL

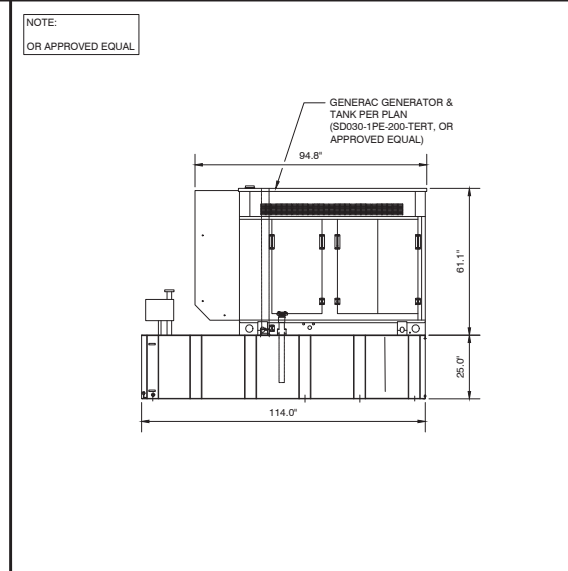
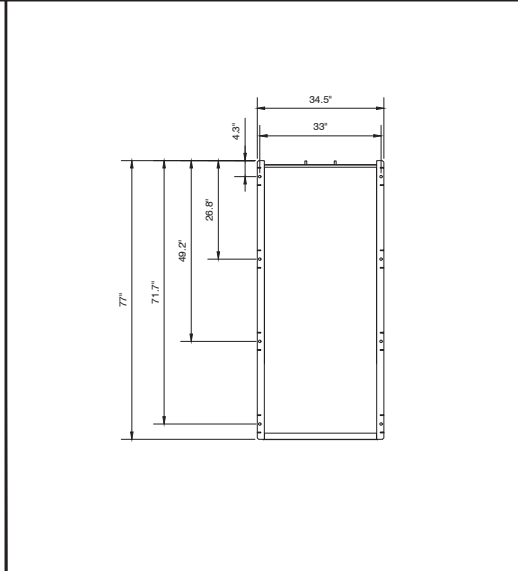
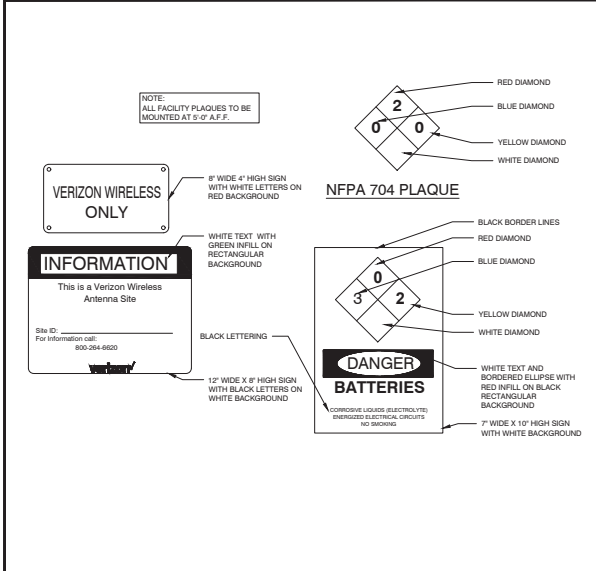
ICE-BRIDGE DETAILS



CABINET MOUNTING DETAILS SCALE: NTS 1

ILC CABINET DETAILS SCALE: NTS 2

NOT USED SCALE: NTS 3



EMERGENCY PLAQUE DETAILS SCALE: NTS 4

GENERATOR ANCHOR DETAILS SCALE: NTS 5

GENERATOR DETAILS SCALE: NTS 6

PREPARED FOR:

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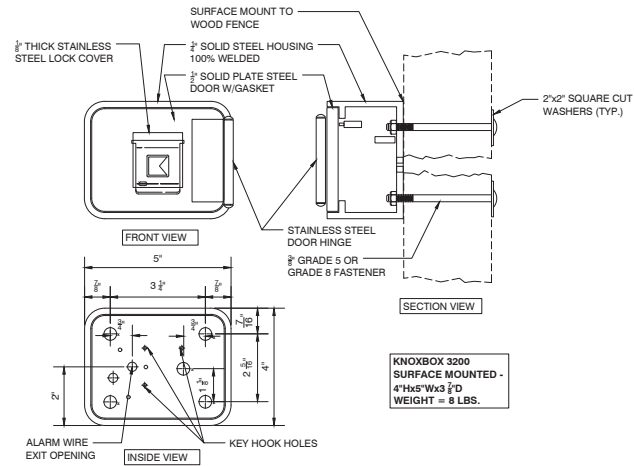
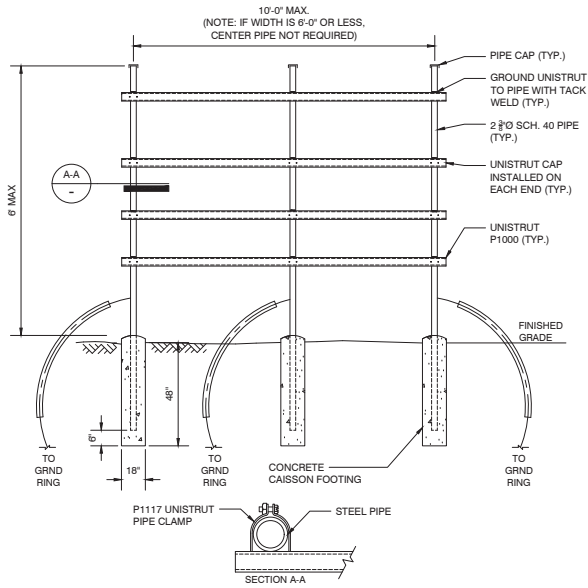
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DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
DETAILS

SHEET NUMBER
A-8



H-FRAME DETAILS

SCALE NTS 1 KNOX BOX DETAILS

SCALE NTS 2

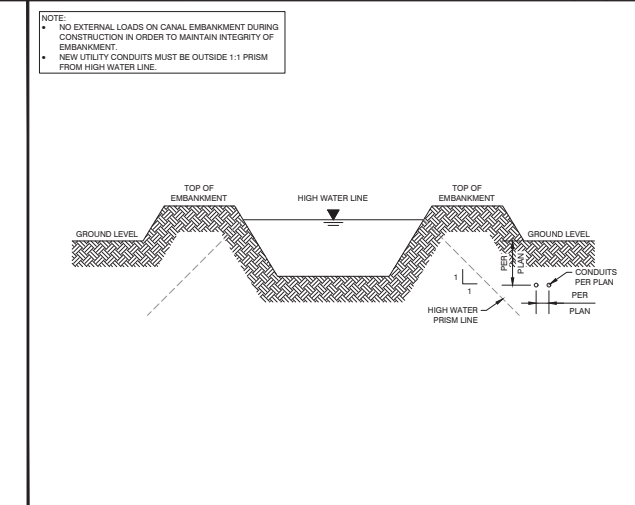
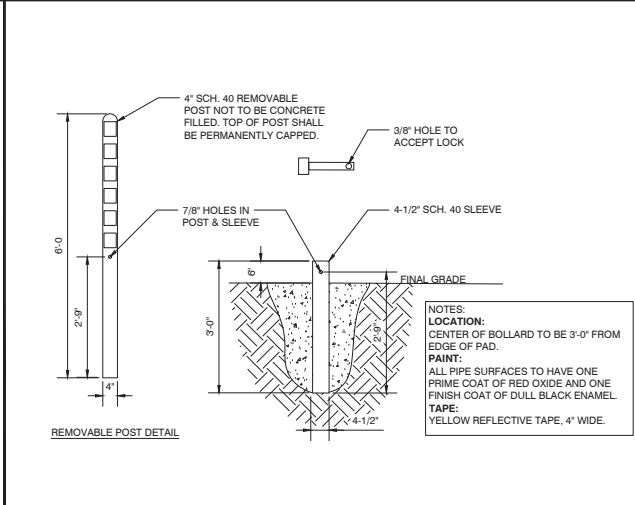
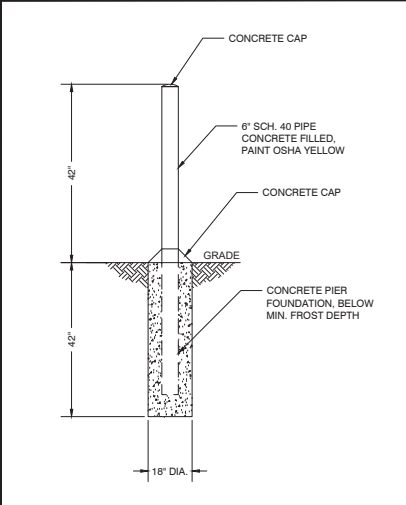
PREPARED FOR:
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CARRIER:
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CONSULTING FIRM
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SOLANO COUNTY

SHEET TITLE
DETAILS

SHEET NUMBER
A-15

CONCRETE BOLLARD DTL SCALE NTS 3

REMOVABLE BOLLARD DETAIL SCALE NTS 4

IRRIGATION DETAIL SCALE NTS 5

ELECTRICAL SPECIFICATIONS

1. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATION TESTS, AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
3. HEIGHTS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
4. THESE PLANS ARE DIAGRAMMATIC ONLY, FOLLOW AS CLOSELY AS POSSIBLE.
5. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, SWITCH BOX, ETC., IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (O.S.H.A.)
6. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
7. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITERS LABORATORY AND SHALL BEAR THE INSPECTION LABEL "J" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA & NBFU
8. CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND O.S.H.A.
9. CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS
10. COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
11. ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL WIRE OR ROPE.
12. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
13. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.
14. USE T-TAP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURE.
15. ALL CONDUCTORS SHALL BE COPPER.
16. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
17. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES AND DRAWINGS.
18. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
19. IN DRILLING HOLES INTO CONCRETE WHETHER FOR

- FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND/OR REINFORCING STEEL WILL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES.
20. LOCATION OF TENDONS AND/OR REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING AND/OR STEEL TENDONS.
21. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH IBC SECTION 714.
22. RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT A.C., WHITE AS REQUIRED BY THE ARCHITECT OR APPROVED EQUAL.
23. WALL SWITCHES SHALL BE SINGLE-POLE, HUBBELL #1201 OR EQUIVALENT, WHITE AS REQUIRED BY THE ARCHITECT.
24. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS, SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE RACO #800, 1/2" RAISED WORK COVERS.
25. WIRE AND CABLE CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM, NO BX OR ROMEX CABLE IS PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
26. GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER AND ANNEALED #2.
27. GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8" ROUND AND 10' LONG, COPPERWELDED OR APPROVED EQUAL.
28. METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS MANUFACTURED BY SQUARE D COMPANY OR APPROVED EQUAL.
29. ALL MATERIALS SHALL BE U.L. LISTED.
30. CONDUIT:
 - a. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
 - b. ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL FITTINGS SHALL BE GLAND RING COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
 - c. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE, SEAL TIGHT FLEXIBLE CONDUIT. ALL CONDUIT IN EXCESS OF SIX FEET IN LENGTH SHALL HAVE FULL SIZE GROUND WIRE.
 - d. ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 (UNLESS NOTED OTHERWISE) AT A MINIMUM DEPTH OF 24" BELOW GRADE.
31. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
32. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
33. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.

GENERAL ELECTRICAL NOTES

1. THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.
2. ELECTRICAL CONTRACTOR SHALL VISIT JOB SITE AND VERIFY EXISTING CONDITIONS BEFORE BIDDING AND SHALL INCLUDE IN HIS BID THE NECESSARY COSTS TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH INTENT OF THE ELECTRICAL DRAWINGS, SPECIFICATIONS, AND ALL APPLICABLE CODES.
3. ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM DEFECTS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIAL AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
4. ALL WORK TO BE EXECUTED IN WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
5. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES.
6. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK UNLESS NOTED OTHERWISE AND COORDINATED WITH THE GENERAL CONTRACTOR.
7. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH CIVIL AND ARCHITECTURAL PLANS. THE REQUIREMENTS OF ALL EQUIPMENT ACTUALLY BEING INSTALLED SHALL BE VERIFIED PRIOR TO INSTALLING THE ELECTRICAL WORK.
8. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE "THWN" #12, & #10 SOLID, #8 AND LARGER STRANDED.
9. ON COMPLETION OF THE WORK, THE INSTALLATION SHALL BE FREE FROM GROUNDS AND SHORT CIRCUITS.
10. ELECTRICAL CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE ARCHITECT AND CUSTOMER UPON COMPLETION OF THE JOB.
11. ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED, INCLUDING BUT NOT LIMITED TO: COMPLETE ELECTRICAL SYSTEMS POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANEL BOARD(S), CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS, ETC., AS INDICATED ON ELECTRICAL DRAWINGS AND/OR REQUIRED BY GOVERNING CODES.
12. RACEWAYS SHALL BE: RIGID STEEL CONDUIT - HOT - DIP GALVANIZED HEAVY WALL AS MANUFACTURED BY REPUBLIC, TRIANGLE OR EQUAL. RIGID POLYVINYL CHLORIDE CONDUIT (PVC); HEAVY WALLS SCHEDULE 40 AS MANUFACTURED BY CARLON ELECTRICAL, VISOEEN OR EQUAL. ELECTRICAL METALLIC TUBING (EMT); ZINC COATED THIN WALL AS MANUFACTURED BY TRIANGLE, REPUBLIC OR EQUAL.
13. FUSE TYPE SHALL BE BUSSMANN OR EQUAL FUSE.
14. PROVIDE ENGRAVED PLASTIC LABELS TO IDENTIFY ALL PANEL BOARDS, XFMRs, DISTRIBUTION PANELS, DISCONNECT SWITCHES, AND TRANSFER SWITCHES. LABELS SHALL READ IN THIS FASHION "A 208Y/120V 3-Ø, 4W, 225A, OKT, BKR OR FUSES TYPE AND SIZES.
15. E.C. SHALL VERIFY AND TEST GROUND TO SOURCE TO A MAXIMUM OF 5 OHMS. IF THE GROUND TEST DOES NOT ACHIEVE THE 5 OHMS OR LESS, E.C. SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY CONDUCTORS AND GROUND RODS TO ACHIEVE 5 OHMS MAXIMUM.
16. BEFORE SUBMITTING BID, VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND THE EXACT SERVING UTILITY POINTS OF CONNECTION.
17. THE ELECTRICAL CONTRACTOR (E.C.) SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
18. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ELECTRICAL MATERIALS, EQUIPMENT AND WORK SHOWN ON THESE PLANS ARE TO BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
19. E.C. SHALL FURNISH AND INSTALL ALL SWITCHES, CONDUITS, WIRES, BOXES, LIGHT FIXTURES (INCLUDING LAMPS), SERVICE DEVICES, RECEPTACLES, SWITCHBOARDS AND PANEL BOARDS, ETC. REQUIRED FOR A COMPLETE AND OPERATING ELECTRICAL SYSTEM.
20. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONAL LOCATION INFORMATION RELATING TO THE ELECTRICAL DRAWINGS.
21. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGES AND HORSEPOWER RATINGS OF ALL MECHANICAL EQUIPMENT.
22. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND REQUIREMENTS ON THE JOB AND BY REFERENCE TO ARCHITECTURE, MECHANICAL AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
23. OUTLET AND JUNCTION BOXES SHALL BE SIZED PER CODE FOR THE QUANTITY OF WIRES THEY CONTAIN. SEE ARTICLE 370 OF N.E.C. PROVIDE ADDITIONAL BOXES AND EXTENSION RINGS AS REQUIRED.
24. ELECTRICAL CONTRACTOR SHALL COMPLY WITH CABLE BENDING RADIUS REQUIREMENTS PER CABLE MANUFACTURERS' S SPECIFICATION.
25. CONDUIT LAYOUTS SHOWN ON THE PLANS ARE DIAGRAMMATIC, NOT INDICATING THE ROUTING REQUIRED. THE CONTRACTOR SHALL ROUTE CONDUITS AS REQUIRED BY THE CONDITIONS OF INSTALLATION.
26. ALL EQUIPMENT PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION, FOR THE CONDITIONS OF THE INSTALLATION.
27. PLANS MAY INDICATE THE NUMBER OF PHASE NEUTRAL, AND GROUND CONDUCTORS WHERE MORE THAN THREE CONDUCTORS ARE TO BE INSTALLED IN A CONDUIT (THREE OR LESS CONDUCTORS ARE NOT SHOWN). ADDITIONAL CONDUCTORS REQUIRED FOR CONTROL SHALL BE INCLUDED EVEN IF NOT EXPLICITLY SHOWN.
28. WHERE SIZE IS NOT SHOWN ON THE DRAWINGS, CIRCUITS SHALL CONSIST OF #12 PHASE AND GROUND (NEUTRAL CONDUCTORS) AND A #12 CU GROUND IN A 3/4" CONDUIT.
29. UNLESS SPECIFICALLY NOTED OTHERWISE, THE ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS TO ALL UTILIZATION EQUIPMENT SHOWN ON THE DRAWINGS. VERIFY THE TYPE OF FINAL CONNECTION AND PROVIDE APPROPRIATE WIRING METHOD.
30. PRIOR TO TRENCHING IN ANY AREA THE CONTRACTOR SHALL CONTACT ELECTRICAL, COMMUNICATIONS, DATA, CABLE T.V., GAS, AND WATER UTILITY PROVIDERS (BLUE STAKE) AND HAVE ALL UTILITIES IN THE AREA IDENTIFIED. IN ADDITION, THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A SUBCONTRACTOR SPECIALIZING IN THE LOCATION OF UNDERGROUND STRUCTURES TO IDENTIFY AND OBSTACLES IN THE PATH OF TRENCHING (PRIOR TO COMMENCING WORK), DAMAGE TO ANY UNDERGROUND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
31. UTILITY COORDINATION
 - a. THE CONTRACTOR SHALL SUBMIT A COMPLETE SET OF DRAWINGS TO ELECTRICAL AND TELCO UTILITIES WITHIN ONE WEEK OF NOTICE TO PROCEED.

- b. THE CONTRACTOR SHALL NOT TRENCH OR INSTALL CONDUITS (ON THE UTILITY OR LOAD SIDE) TO THE S.E.S. THE UTILITY TRANSFORMER (PRIMARY OR SECONDARY), OR TO THE UTILITY CONNECTION POINT BEFORE RECEIVING A FINAL DESIGN FROM THE UTILITY.
- c. THE CONTRACTOR SHALL NOT INSTALL EQUIPMENT PADS FOR THE SES OR ANY UTILITY EQUIPMENT (TRANSFORMERS, SWITCHING CABINETS, ETC.) PRIOR TO RECEIPT OF FINAL PLANS FROM THE UTILITY.
- d. THE CONTRACTOR SHALL NOT BE COMPENSATED FOR ADDITIONAL WORK REQUIRED TO MEET THE REQUIREMENTS OF THE UTILITY WHICH IS THE RESULT OF PROCEEDING PRIOR TO RECEIPT OF A FINAL UTILITY DESIGN.

32. SERIES RATING NOTES TO ENSURE THAT EACH PROTECTIVE DEVICE WHICH IS DEPENDENT ON ANOTHER DEVICE WILL INTERRUPT THE AVAILABLE SHORT CIRCUIT AT THE LOCATION WHERE IT IS INSTALLED, IT MUST MEET THE FOLLOWING REQUIREMENTS:
 - a. SWITCHBOARD COMPONENTS, INCLUDING OVER CURRENT PROTECTIVE DEVICES, SHALL BE FULLY RATED FOR THE AVAILABLE FAULT CURRENT SHOWN.
 - b. PROVIDE IDENTIFICATION AT THE ENCLOSURE OF PANEL BOARDS WHERE BREAKERS ARE APPLIED IN SERIES COMBINATION, STATING: "CAUTION - SERIES RATED SYSTEM" AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED." CONTRACTOR TO FILL IN BLANK WITH AVAILABLE FAULT CURRENT AS SHOWN ON THE SINGLE-LINE DIAGRAM.
 - c. PER NEC ARTICLE 110-22 (2005), PROVIDE IDENTIFICATION AT EACH DISCONNECTING MEANS FEEDING DOWNSTREAM DEVICES APPLIED IN SERIES COMBINATION, STATING: "CAUTION - SERIES COMBINATION SYSTEM RATED" AMPERES. IDENTIFIED REPLACEMENT COMPONENT REQUIRED." CONTRACTOR TO FILL IN BLANK WITH AVAILABLE FAULT CURRENT AS SHOWN ON THE SINGLE-LINE DIAGRAM.
 - d. AIC RATING SHOWN AT PANEL BOARDS IS MINIMUM RATING FOR OVERCURRENT PROTECTIVE DEVICES. EACH DEVICE SHALL BE FULLY-RATED OR SERIES RATED WITH UPSTREAM DEVICE AT AFC AS SHOWN ON THE SINGLE-LINE DIAGRAM.
 - e. NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT THE PRIOR APPROVAL OF THE DESIGN ELECTRICAL ENGINEER AND THE ELECTRICAL INSPECTOR.
 - f. THE TOTAL MOTOR LOAD CONNECTED BETWEEN SERIES RATED DEVICES DOES NOT EXCEED 1% OF THE INTERRUPTING RATING OF THE DOWNSTREAM DEVICE.

PREPARED FOR:



SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-684-9898 - FAX 480-684-9890

CARRIER:



2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM



PINNACLE CONSULTING, INC.
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO:	CA19-195 COLT
DRAWN BY:	CDA
CHECKED BY:	KP

REV	DATE	DESCRIPTION	BY
A	11/07/24	ISSUED FOR REVIEW	CDA

**FOR REVIEW
ONLY NOT
FOR
CONSTRUCTION**

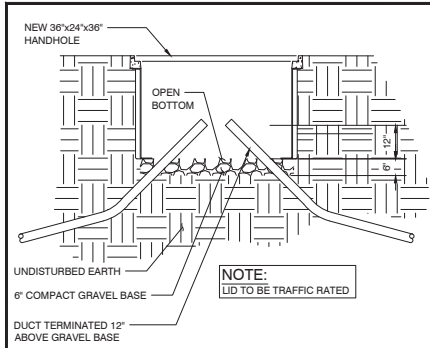
CA19-195 COLT/
DIXON PITT

5778 DIXON AVE W.
DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
ELECTRICAL NOTES

SHEET NUMBER
E-1

ELECTRICAL NOTES



FIBER VAULT DETAIL SCALE NTS 1

NOT USED SCALE NTS 2

ABBREVIATIONS SCALE NTS 3

C.O. = CONDUIT ONLY	G.C. = GENERAL CONTRACTOR
E.M.T. = ELEC. METALLIC TUBING (THIN WALL)	H.P. 2P. & 3P. = SINGLE POLE, 2, & 3 POLE
PVC. = SCHEDULE 40 PLASTIC CONDUIT	EGG = EQUIPMENT GROUND BUS
GRC. = GALVANIZED RIGID CONDUIT	MGB = MAIN GROUND BUS
FIXT. = FIXTURE	AFC = AVAILABLE FAULT CURRENT
MTD. = MOUNTED	CLF = CURRENT LIMITING FUSE
W.A. = WEATHERPROOF	AWG = AMERICAN WIRE GAUGE
U.O.N. = UNLESS OTHERWISE NOTED	BCW = BARE COPPER WIRE
G. OR GRD. = GROUND	GPS = GLOBAL POSITIONING SYSTEM
N. OR NEUT. = NEUTRAL	PCS = PERSONAL COMMUNICATION
A. OR AMP. = AMPERE	SERVICE =
KW. = KILOWATTS	PPC = POWER PROTECTION CABINET
W. = WATTS	RWY = RACEWAY
LV. = LOW VOLTAGE	TYP. = TYPICAL
~ = PHASE	RGS = RIGID GALVANIZED STEEL
DEF. = DUAL ELEMENT FUSES	EMT = ELECTRICAL METALLIC TUBING
DIA. = DIAMETER	DWG. = DRAWING
H.P. OR HP. = HORSEPOWER	IGR = INTERIOR GROUND RING (HALO)
XFMR = TRANSFORMER	CCA = ANTENNA CABLE COVER
C.A. = CIRCUIT BREAKER	ASSEMBLY =
CKT. = CIRCUIT	BTS = BASE TRANSMISSION SYSTEM
SW. = SWITCH	GEN = GENERATOR
MTS = MANUAL TRANSFORMER SWITCH	GR = GROWTH
F.A. = FIRE ALARM	BSCW = BARE STRANDED COPPER
RECP.T. = RECEPTACLE	WIRE =
E.C. = ELECTRIC CONTRACTOR	ISCW = INSULATED STRANDED COPPER WIRE

PREPARED FOR:

1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-684-9585 - FAX 480-684-9850

CARRIER:

2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO.:	CA19-195 COLT
DRAWN BY:	CDA
CHECKED BY:	KP

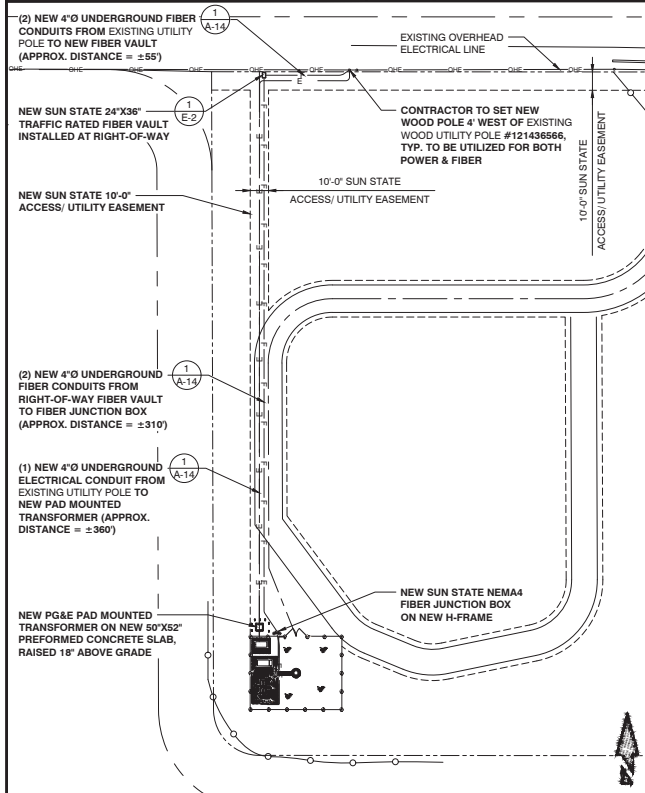
REV	DATE	DESCRIPTION	BY
A	11/07/24	ISSUED FOR REVIEW	CDA

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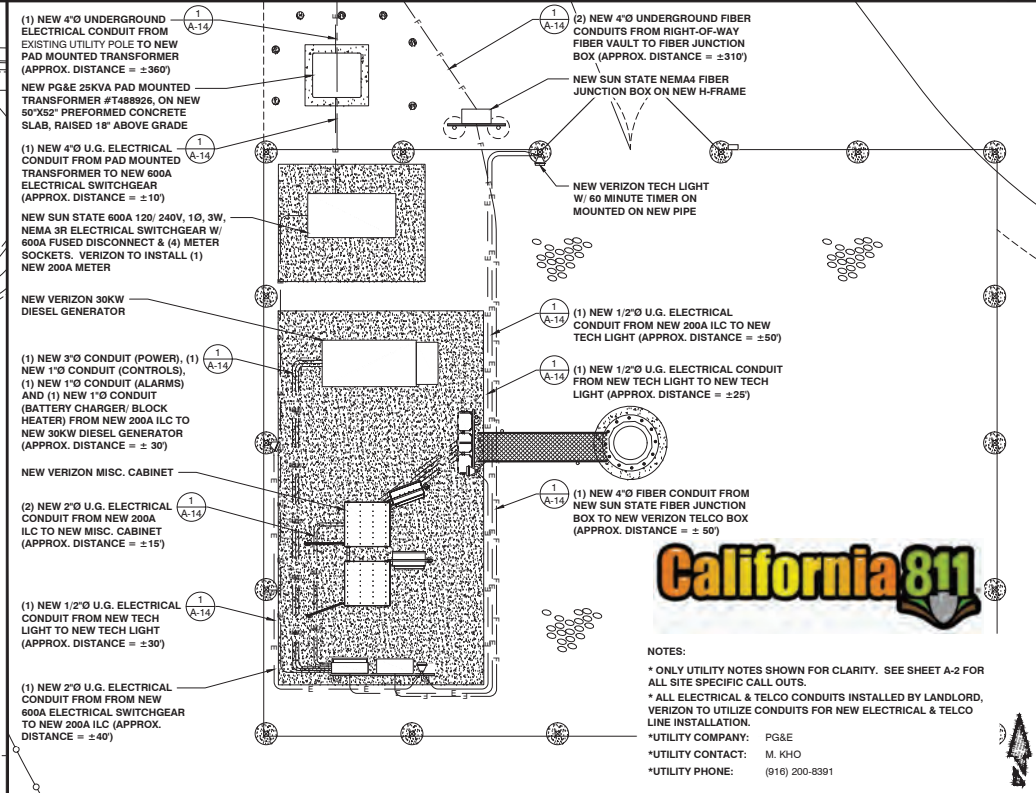
CA19-195 COLT/
DIXON PITT
5776 DIXON AVE. W.
DIXON, CA 95620
SOLANO COUNTY

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-2



SITE UTILITY PLAN 24x36\"/>

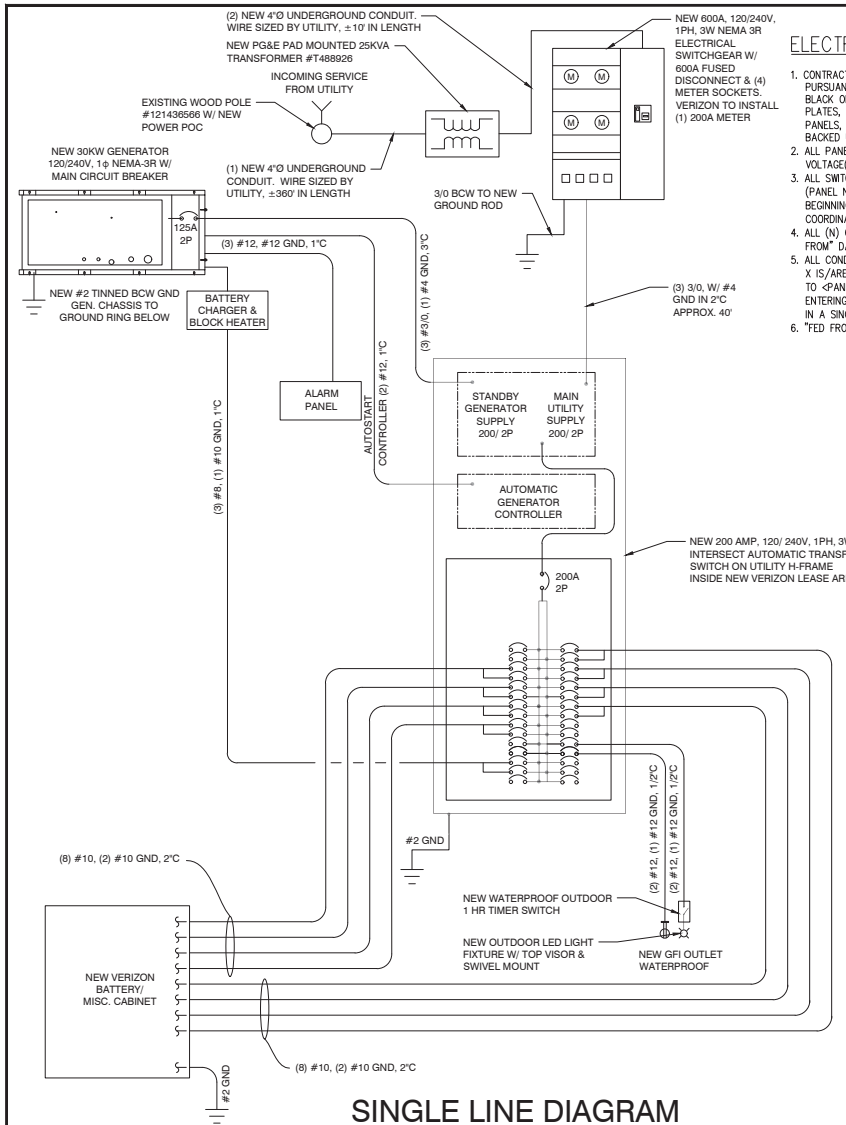


ENLARGED SITE UTILITY PLAN 24x36\"/>



NOTES:
 * ONLY UTILITY NOTES SHOWN FOR CLARITY. SEE SHEET A-2 FOR ALL SITE SPECIFIC CALL OUTS.
 * ALL ELECTRICAL & TELCO CONDUITS INSTALLED BY LANDLORD, VERIZON TO UTILIZE CONDUITS FOR NEW ELECTRICAL & TELCO LINE INSTALLATION.
 *UTILITY COMPANY: PG&E
 *UTILITY CONTACT: M. KHO
 *UTILITY PHONE: (916) 200-8391

SCALE: 1/4\"/>



SINGLE LINE DIAGRAM

ELECTRICAL LABELING REQUIREMENTS

1. CONTRACTOR SHALL LABEL ALL ELECTRICAL DEVICES INSTALLED OR ALTERED PURSUANT TO THIS CONTRACT PER THE FOLLOWING: LABELS SHALL BE PERMANENT BLACK ON WHITE PEEI & STICK LABEL MAKER TYPE FOR ALL SWITCH & OUTLET PLATES, CONDUITS AND CEILING FIXTURES, AND SHALL BE PHENOLIC TAG TYPE FOR PANELS, XFMR'S, PULL BOXES, ETC.; PHENOLIC TAGS SHALL BE RED IN COLOR WHERE BACKED UP BY GENERATOR
2. ALL PANELS, XFMR'S AND PULL BOXES SHALL BE LABELED WITH DEVICE 'NAME', VOLTAGE(S), RATING FOR XFMR'S, AND "FED FROM" DATA.
3. ALL SWITCH & OUTLET PLATES SHALL BE LABELED WITH "FED FROM" CIRCUIT DATA (PANEL NAME & CIRCUIT#); ALL GANG SWITCHES SHALL BEAR SWITCH NUMBERS BEGINNING W/#1 ON LEFT OF THE MAIN LIGHTING SWITCH FOR EACH ROOM FOR COORDINATION W/FIXTURE LABELS.
4. ALL (N) OR RETROFITTED LIGHTING FIXTURES SHALL BE LABELED WITH THE "FED FROM" DATA (SWITCH#)
5. ALL CONDUITS EXITING A PANEL BOARD SHALL BE LABELED "CIRCUIT(S) 'X...'" WHERE X IS/ARE THE BREAKER(S). CONDUITS EXITING XFMR'S SHALL BE LABELED "FEEDER TO <PANEL, DEVICE>". E.G. "FEEDER TO PANEL <panel name>". CONDUITS ENTERING/EXITING A ROOM OR FLOOR SHALL BE LABELED AT THE ENTRY & EXIT (OR IN A SINGLE LOCATION IF OBVIOUS) W/"FED FROM..." & "TO PANEL/XFMR/..." DATA.
6. "FED FROM" DATA = <panel name> <brk#> EG: "PANEL X/1,3,5"

ELECTRIC LEGEND

- (M) METER
- ⊖ CIRCUIT BREAKER
- ⊕ SERVICE GROUND
- WIRE CONNECTION
- ⊔ TIMER SWITCH, WATERPROOF
- ⊕ OUTDOOR LIGHT
- ⊕ GFI OUTLET, WATERPROOF

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE 2017 IEC AS WELL AS ALL ADOPTED STANDARDS, APPLICABLE STATE AND LOCAL CODES.
2. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, CONDUCTORS, PULL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
4. ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C. OR AS REQUIRED.
5. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
6. ELECTRICAL WIRING SHALL BE COPPER #12 AWG MIN WITH TYPE THHN, THWN-2 OR THW-2, INSULATION RATED FOR 90°C DRY OR 70°C WET.
7. ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
8. ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
9. A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
10. WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATERTIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.
11. WHERE PLANS CALL FOR A NEW ELECTRICAL SERVICE, PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VERIFY PLAN DETAILS WITH THE UTILITY'S SERVICE PLAN & REQ'TS INCLUDING SERVICE VOLTAGE, METER LOCATION, MAIN DISCONNECTING MEANS, AND A/C REQ'T, AND SHALL OBTAIN CLARIFICATION FROM THE PROJECT ENGINEER ON ANY DEVIATIONS FOUND IN THESE PLANS.
12. WHERE THESE PLANS SHOW A DC POWER PLANT, THE INSTALLATION OPERATING AT LESS THAN 50 VDC UNGROUNDED, 2-WIRE, SHALL COMPLY WITH ARTICLE 720, AS FOLLOWS:
 - A. POWER PLANT SHALL BE SUPPLIED BY THE WIRELESS CARRIER AS A PULL-TAG ITEM AND INSTALLED BY THE CONTRACTOR.
 - B. CONDUCTORS SHALL NOT BE SMALLER THAN #12 AWG COPPER MIN. CONDUCTORS FOR BRANCH CIRCUITS SUPPLYING MORE THAN ONE APPLIANCE SHALL BE 10 AWG CU MIN. CONTRACTOR SHALL SIZE CONDUCTORS BASED ON MFG'S DATA FOR THE APPLIANCE(S) SERVED.
 - C. THERE ARE NO DC RECEPTACLES OR LUMINAIRES ALLOWED ON THIS PROJECT. ALL CIRCUITS SHALL ORIGINATE AT AN INTEGRATED DOUBLE LUG TAP OR SOCKET TERMINATION ON AN INTEGRATED DC CIRCUIT BREAKER AT AN INDIVIDUAL RECTIFIER MODULE AND TERMINATE AT THE SPECIALIZED LUG ON THE RESPECTIVE APPLIANCE AS A SINGLE RUN OF WIRE WITHOUT SPLICES. ALL DC WIRING SHALL BE LABELED AT THE DC PLANT WITH THE APPLIANCE SERVED AND THE DC VOLTAGE.
 - D. ALL CABLING SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER AND SUPPORTED BY BUILDING STRUCTURE, EG. (N) CABLE TRAY OVERHEAD, IN SUCH A MANNER THAT THE CABLE WILL NOT BE DAMAGED BY NORMAL USE.

NEW PANEL SCHEDULE

NAMEPLATE: PANEL A		SC LEVEL : 65,000				VOLTS: 120/240V, 1φ			
LOCATION: OUTSIDE						BUS AMPS: 200A			
MOUNTING: H-FRAME						MAIN CB: 200A			
φA	φB	LOAD DESCRIPTION	BKR AMP/ POLE	CIRCUIT NO.	BKR AMP/ POLE	LOAD DESCRIPTION	φA	φB	
30		SURGE ARRESTOR	60/2	1 2	30/2	RECTIFIERS	1320		
	30	BLANK	-	3 4	" "	" "		1320	
		BLANK	-	5 6	30/2	RECTIFIERS	1320		
		BLANK	-	7 8	" "	" "		1320	
1320		RECTIFIERS	30/2	9 10	30/2	RECTIFIERS	1320		
	1320	" "	" "	11 12	" "	" "		1320	
1320		RECTIFIERS	30/2	13 14	30/2	RECTIFIERS	1320		
	1320	" "	" "	15 16	" "	" "		1320	
1320		RECTIFIERS	30/2	17 18	-	BLANK			
	1320	" "	" "	19 20	-	BLANK			
1320		RECTIFIERS	30/2	21 22	-	BLANK			
	1320	" "	" "	23 24	-	BLANK			
1000		BLOCK HEATER	20/1	25 26	-	BLANK			
	300	BATTERY CHARGER	20/1	27 28	20/1	LIGHT		300	
		BLANK	-	29 30	20/1	GFI RECEPTACLE	180		
6,310	5,610	PHASE TOTALS				PHASE TOTALS	5,460		5,580
TOTAL VA =	22,900	TOTAL AMPS =		96					

ONE-LINE DIAGRAM & PANEL SCHEDULE

PREPARED FOR:

SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER:

verizon
2770 SHADELANDS DR. BUILDING 11
WALNUT CREEK, CA 94598

CONSULTING FIRM:

PINNACLE CONSULTING, INC.
Site Acquisition | Engineering | Construction
1426 N. MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: CA19-195 COLT
DRAWN BY: CDA
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CA19-195 COLT/
DIXON PITT

5776 DIXON AVE. W.
DIXON, CA 95620
SOLANO COUNTY

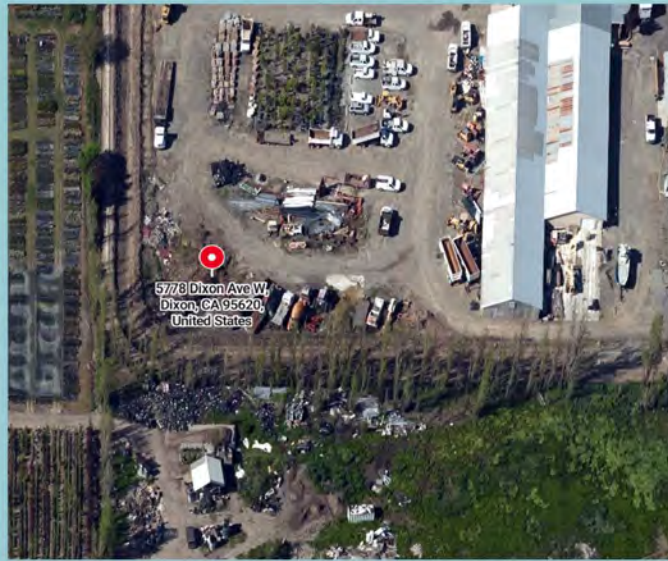
SHEET TITLE
ONE-LINE DIAGRAM & FAULT CALCS

SHEET NUMBER
E-3

Radio Frequency - Electromagnetic Energy (RF-EME) Jurisdictional Report

Site No. 17256867
Dixon Pitt
5778 Dixon Avenue West
Dixon, California 95620
Solano County
38° 26' 41.75" N, -121° 52' 51.14" W NAD83

EBI Project No. 009951-PR
March 20, 2024



Prepared for:
Verizon Wireless
c/o Complete Wireless Consulting, Inc.
2009 V Street
Sacramento, CA 95818

Prepared by:
 **EBI Consulting**
environmental | engineering | due diligence

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EXECUTIVE SUMMARY

Purpose of Report

EnviroBusiness Inc. (dba EBI Consulting) has been contracted by Verizon Wireless (“Verizon”) to conduct radio frequency electromagnetic (RF-EME) modeling for Verizon Site 17256867 located at 5778 Dixon Avenue West in Dixon, California to determine RF-EME exposure levels from proposed Verizon communications equipment at this site. As described in greater detail in Appendix C of this report, the Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) Limits for the general public and for occupational activities. This report summarizes the results of RF-EME modeling in relation to relevant FCC RF-EME compliance standards for limiting human exposure to RF-EME fields.

Statement of Compliance

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards.

As presented in the sections below, based on worst-case predictive modeling, there are no modeled areas on any accessible ground-level walking/working surface related to the proposed antennas that exceed the FCC’s occupational or general public exposure limits at this site. Additionally, there are areas where workers who may be elevated above the rooftop or ground may be exposed to power densities greater than the occupational limits. Therefore, workers should be informed about the presence and locations of antennas and their associated fields.

At the nearest walking/working surfaces to the Verizon antennas, the maximum power density generated by the Verizon antennas is approximately **44.30** percent of the FCC’s general public limit (**8.86** percent of the FCC’s occupational limit).

Recommended control measures are outlined in Section 4.0 and within the Site Safety Plan (attached); Verizon should also provide procedures to shut down and lockout/tagout this wireless equipment in accordance with Verizon’s standard operating protocol. Non-telecom workers who will be working in areas of exceedance are required to contact Verizon since only Verizon has the ability to lockout/tagout the facility, or to authorize others to do so.

1.0 INTRODUCTION

Radio frequency waves are electromagnetic waves from the portion of the electromagnetic spectrum at frequencies lower than visible light and microwaves. The wavelengths of radio waves range from thousands of meters to around 30 centimeters. These wavelengths correspond to frequencies as low as 3 cycles per second (or hertz [Hz]) to as high as one gigahertz (one billion cycles per second).

Personal Communication (PCS) facilities used by Verizon in this area will potentially operate within a frequency range of 700 to 5000 MHz. Facilities typically consist of: 1) electronic transceivers (the radios or cabinets) connected to wired telephone lines; and 2) antennas that send the wireless signals created by the transceivers to be received by individual subscriber units (PCS telephones). Transceivers are typically connected to antennas by coaxial cables.

Because of the short wavelength of PCS services, the antennas require line-of-site paths for good propagation, and are typically installed a distance above ground level. Antennas are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. This design, combined with the low power of PCS facilities, generally results in no possibility for exposure to approach Maximum Permissible Exposure (MPE) levels, with the exception of in areas in the immediate vicinity of the antennas.

MPE limits do not represent levels where a health risk exists, since they are designed to provide a substantial margin of safety. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size or health.

2.0 SITE DESCRIPTION

This project site includes the following proposed wireless telecommunication antennas on a monopole located at 5778 Dixon Avenue West in Dixon, California.

Ant #	Sector	Operator	Antenna Model	Mechanical Downtilt (Degrees)	Azimuth (Degrees)	Technology and Frequency (MHz)	Electrical Downtilt (Degrees)	Horizontal Beamwidth (Degrees)	Aperture (feet)	Total Power Input (Watts)	Antenna Gain (dBd)	Total ERP (Watts)
1	Alpha	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	0	LTE 700	SON	48	8.0	120	13.45	2655.71
1	Alpha	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	0	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
1	Alpha	Verizon	SON_MX12FRO845-01 02DT-10DT 2100	0	0	LTE 2100	SON	37	8.0	240	17.55	13652.47
2	Alpha	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	0	LTE 700	SON	48	8.0	120	13.45	2655.71
2	Alpha	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	0	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
2	Alpha	Verizon	SON_MX12FRO845-01 02DT-10DT 1900	0	0	LTE 1900	SON	42	8.0	240	16.65	11097.14
3	Alpha	Verizon	SON_AIR6419 TB 03.21.2023 3700 VZW	0	0	L-Sub6 3700	SON	11	2.4	320	23.45	70819.03
4	Beta	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	90	LTE 700	SON	48	8.0	120	13.45	2655.71
4	Beta	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	90	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
4	Beta	Verizon	SON_MX12FRO845-01 02DT-10DT 2100	0	90	LTE 2100	SON	37	8.0	240	17.55	13652.47
5	Beta	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	90	LTE 700	SON	48	8.0	120	13.45	2655.71
5	Beta	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	90	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
5	Beta	Verizon	SON_MX12FRO845-01 02DT-10DT 1900	0	90	LTE 1900	SON	42	8.0	240	16.65	11097.14
6	Beta	Verizon	SON_AIR6419 TB 03.21.2023 3700 VZW	0	90	L-Sub6 3700	SON	11	2.4	320	23.45	70819.03
7	Gamma	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	180	LTE 700	SON	48	8.0	120	13.45	2655.71
7	Gamma	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	180	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
7	Gamma	Verizon	SON_MX12FRO845-01 02DT-10DT 2100	0	180	LTE 2100	SON	37	8.0	240	17.55	13652.47

Ant #	Sector	Operator	Antenna Model	Mechanical Downfitt (Degrees)	Azimuth (Degrees)	Technology and Frequency (MHz)	Electrical Downfitt (Degrees)	Horizontal Beamwidth (Degrees)	Aperture (feet)	Total Power Input (Watts)	Antenna Gain (dBd)	Total ERP (Watts)
8	Gamma	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	180	LTE 700	SON	48	8.0	120	13.45	2655.71
8	Gamma	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	180	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
8	Gamma	Verizon	SON_MX12FRO845-01 02DT-10DT 1900	0	180	LTE 1900	SON	42	8.0	240	16.65	11097.14
9	Gamma	Verizon	SON_AIR6419 TB 03.21.2023 3700 VZW	0	180	L-Sub6 3700	SON	11	2.4	320	23.45	70819.03
10	Delta	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	270	LTE 700	SON	48	8.0	120	13.45	2655.71
10	Delta	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	270	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
10	Delta	Verizon	SON_MX12FRO845-01 02DT-10DT 2100	0	270	LTE 2100	SON	37	8.0	240	17.55	13652.47
11	Delta	Verizon	SON_MX12FRO845-01 02DT-12DT 700	0	270	LTE 700	SON	48	8.0	120	13.45	2655.71
11	Delta	Verizon	SON_MX12FRO845-01 02DT-12DT 850	0	270	LTE/5G 850	SON	44	8.0	120	14.05	3049.17
11	Delta	Verizon	SON_MX12FRO845-01 02DT-10DT 1900	0	270	LTE 1900	SON	42	8.0	240	16.65	11097.14
12	Delta	Verizon	SON_AIR6419 TB 03.21.2023 3700 VZW	0	270	L-Sub6 3700	SON	11	2.4	320	23.45	70819.03

• Note there are 3 Verizon antennas per sector at this site. For clarity, the different frequencies for each antenna are entered on separate lines.

Ant #	NAME	X	Y	Antenna Radiation Centerline	Z-Height Adjacent Building Roof Peak	Z-Height Adjacent Shed Roof	Z-Height Ground
1	Verizon	113.9	108.1	76.0	60.0	66.0	76.0
2	Verizon	115.9	108.1	76.0	60.0	66.0	76.0
3	Verizon	120.9	107.7	76.0	60.0	66.0	76.0
4	Verizon	123.3	111.4	76.0	60.0	66.0	76.0
5	Verizon	123.8	113.5	76.0	60.0	66.0	76.0
6	Verizon	123.3	118.0	76.0	60.0	66.0	76.0
7	Verizon	120.9	120.5	76.0	60.0	66.0	76.0
8	Verizon	119.2	120.9	76.0	60.0	66.0	76.0
9	Verizon	114.3	120.5	76.0	60.0	66.0	76.0
10	Verizon	112.2	118.8	76.0	60.0	66.0	76.0
11	Verizon	112.2	116.8	76.0	60.0	66.0	76.0
12	Verizon	111.8	111.0	76.0	60.0	66.0	76.0

• Note the Z-Height represents the distance from the antenna centerline.

The above tables contain an inventory of proposed Verizon Antennas and other carrier antennas if sufficient information was available to model them. Note that EBI uses an assumed set of antenna specifications and powers for unknown and other carrier antennas for modeling purposes. The FCC guidelines incorporate two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general population/uncontrolled exposure limits for members of the general public that may be exposed to antenna fields. While access to this site is considered controlled, the analysis has considered exposures with respect to both controlled and uncontrolled limits as an untrained worker may access adjacent rooftop locations. Additional information regarding controlled/uncontrolled exposure limits is provided in Appendix C. Appendix B presents a site safety plan that provides a plan view of the monopole with antenna locations.

3.0 WORST-CASE PREDICTIVE MODELING

EBI has performed theoretical MPE modeling using RoofMaster™ software to estimate the worst-case power density at the site's nearby broadcast levels resulting from operation of the antennas. RoofMaster™ is a widely-used predictive modeling program that has been developed by Waterford Consultants to predict RF power density values for rooftop and tower telecommunications sites produced by vertical collinear antennas that are typically used in the cellular, PCS, paging and other communications services. Using the computational methods set forth in Federal Communications Commission (FCC) Office of Engineering & Technology (OET) Bulletin 65, "Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields" (OET-65), RoofMaster™ calculates predicted power density in a scalable grid based on the contributions of all RF sources characterized in the study scenario. At each grid location, the cumulative power density is expressed as a percentage of the FCC limits. Manufacturer antenna pattern data is utilized in these calculations. RoofMaster™ models consist of the Far Field model as specified in OET-65 and an implementation of the OET-65 Cylindrical Model (Sula9). The models utilize several operational specifications for different types of antennas to produce a plot of spatially-averaged power densities that can be expressed as a percentage of the applicable exposure limit.

For this report, EBI utilized antenna and power data provided by Verizon and compared the resultant worst-case MPE levels to the FCC's occupational/controlled exposure limits outlined in OET Bulletin 65. The assumptions used in the modeling are based upon information provided by Verizon and information gathered from other sources. The parameters used for modeling are summarized in the Site Description antenna inventory table in Section 2.0.

There are no other wireless carriers with equipment installed at this site.

Based on worst-case predictive modeling, there are no modeled areas on any accessible ground-level walking/working surface related to the proposed Verizon antennas that exceed the FCC's occupational or general public exposure limits at this site. At the nearest walking/working surfaces to the Verizon antennas, the maximum power density generated by the Verizon antennas is approximately 44.30 percent of the FCC's general public limit (8.86 percent of the FCC's occupational limit).

The Site Safety Plan also presents areas where Verizon Wireless antennas contribute greater than 5% of the applicable MPE limit for a site. A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards.

The inputs used in the modeling are summarized in the Site Description antenna inventory table in Section 2.0. A graphical representation of the RoofMaster™ modeling results is presented in Appendix B. Microwave dish antennas are designed for point-to-point operations at the elevations of the installed equipment rather than ground level coverage. The maximum power density generated by all carrier antennas, including microwaves and panel antennas, is included in the modeling results presented within this report.

4.0 MITIGATION/SITE CONTROL OPTIONS

EBI's modeling indicates that there are no areas in front of the Verizon antennas that exceed the FCC standards for occupational or general public exposure. All exposures above the FCC's safe limits require that individuals be elevated above the rooftop/ground. In accordance with the official Verizon Wireless Signage and Demarcation Policy for tower structures, no signage is recommended at this site.

Radio Frequency - Electromagnetic Energy (RF-EME) Jurisdictional Report
EBI Project No. 00995 I-PR

Site No. 17256867
5778 Dixon Avenue West, Dixon, California

Barriers are recommended for installation when possible to block access to the areas in front of the antennas that exceed the FCC general public and/or occupational limits. Barriers may consist of rope, chain, or fencing. Painted stripes should only be used as a last resort. There are no barriers recommended on this site.

These protocols and recommended control measures have been summarized and included with a graphic representation of the antennas and associated signage and control areas in a RF-EME Site Safety Plan, which is included as Appendix B. Individuals and workers accessing the monopole should be provided with a copy of the attached Site Safety Plan, made aware of the posted signage and barriers, and signify their understanding of the Site Safety Plan.

To reduce the risk of exposure, EBI recommends that access to areas associated with the active antenna installation be restricted and secured where possible. All persons accessing elevated positions on adjacent structures (ex. rooftop, utility pole, monopole, etc.) along with nearby elevated features, such as trees, within areas exceeding the general public MPE, must be made aware of the presence and locations of antennas and their associated fields, where applicable.

5.0 SUMMARY AND CONCLUSIONS

EBI has prepared a Radiofrequency – Electromagnetic Energy (RF-EME) Compliance Report for telecommunications equipment installed by Verizon Site Number 17256867 located at 5778 Dixon Avenue West in Dixon, California to determine worst-case predicted RF-EME exposure levels from wireless communications equipment installed at this site. This report summarizes the results of RF-EME modeling in relation to relevant Federal Communications Commission (FCC) RF-EME compliance standards for limiting human exposure to RF-EME fields.

As presented in the sections above, based on the FCC criteria, there are no modeled areas on any accessible ground-level walking/working surface related to the proposed antennas that exceed the FCC's occupational or general public exposure limits at this site.

Workers should be informed about the presence and locations of antennas and their associated fields. Recommended control measures are outlined in Section 4.0 and within the Site Safety Plan (attached); Verizon should also provide procedures to shut down and lockout/tagout this wireless equipment in accordance with Verizon's standard operating protocol. Non-telecom workers who will be working in areas of exceedance are required to contact Verizon since only Verizon has the ability to lockout/tagout the facility, or to authorize others to do so.

6.0 LIMITATIONS

This report was prepared for the use of Verizon Wireless. It was performed in accordance with generally accepted practices of other consultants undertaking similar studies at the same time and in the same locale under like circumstances. The conclusions provided by EBI are based solely on the information provided by the client. The observations in this report are valid on the date of the investigation. Any additional information that becomes available concerning the site should be provided to EBI so that our conclusions may be revised and modified, if necessary. This report has been prepared in accordance with Standard Conditions for Engagement and authorized proposal, both of which are integral parts of this report. No other warranty, expressed or implied, is made.

Appendix A

Certifications

Preparer Certification

I, Kobi Thompson, state that:

- I am an employee of EnviroBusiness Inc. (d/b/a EBI Consulting), which provides RF-EME safety and compliance services to the wireless communications industry.
- I have successfully completed RF-EME safety training, and I am aware of the potential hazards from RF-EME and would be classified “occupational” under the FCC regulations.
- I am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation.
- I have reviewed the data provided by the client and incorporated it into this Site Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

Kobi Thompson

Radio Frequency - Electromagnetic Energy (RF-EME) Jurisdictional Report
EBI Project No. 00995 I-PR

Site No. 17256867
5778 Dixon Avenue West, Dixon, California

Reviewed and Approved by:



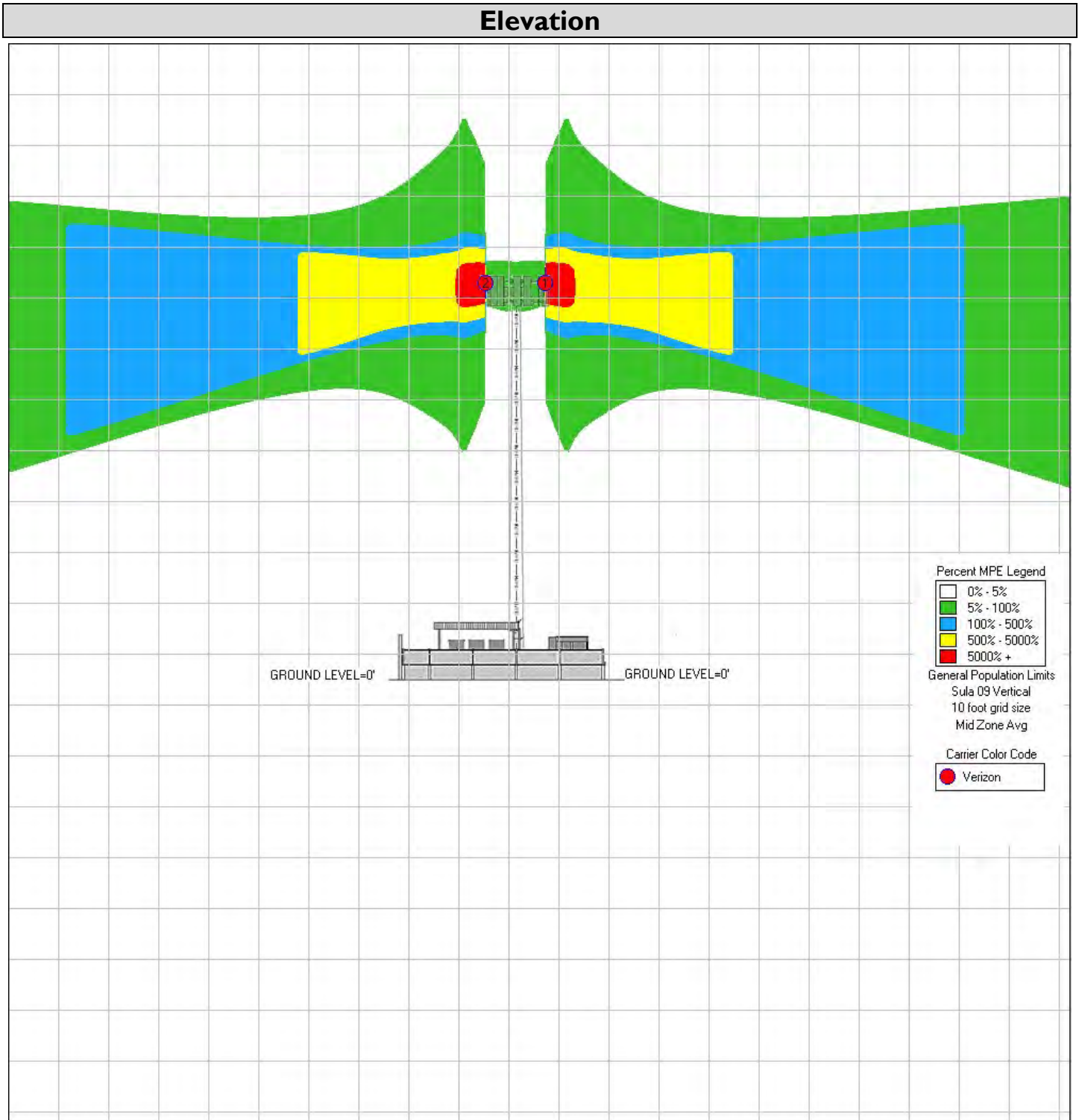
sealed 20mar2024

Michael McGuire
Electrical Engineer
mike@h2dc.com

Note that EBI's scope of work is limited to an evaluation of the Radio Frequency – Electromagnetic Energy (RF-EME) field generated by the antennas and broadcast equipment noted in this report. The engineering and design of the building and related structures, as well as the impact of the antennas and broadcast equipment on the structural integrity of the building, are specifically excluded from EBI's scope of work.

Appendix B

Radio Frequency Electromagnetic Energy Safety Information and Signage Plans



Nearest Walking Surface – Adjacent Building Sloped Roof Peak



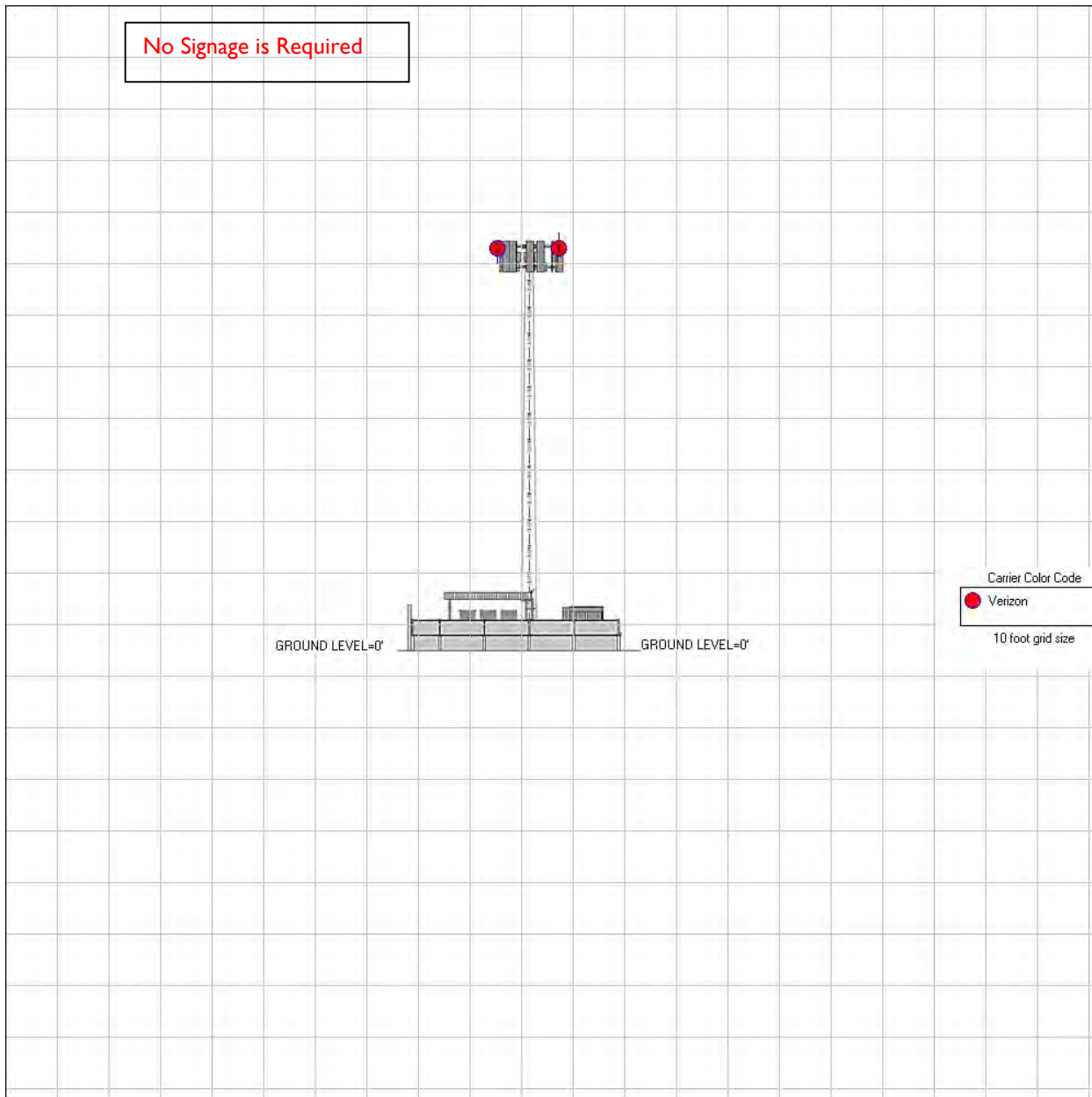
Shed Roof Level

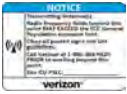



Ground Level



Verizon Signage Plan


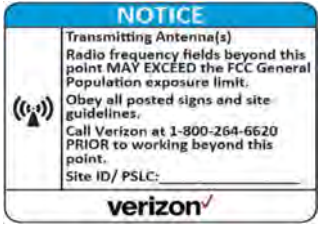
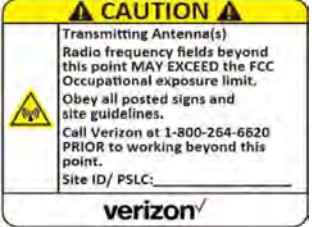
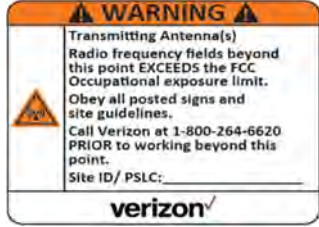


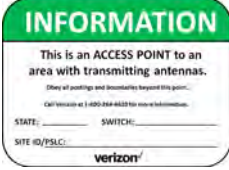
Sign	Description	Posting Instructions	Required Signage / Mitigation
	<p>Blue Notice Sign Used to alert individuals that they are entering an area where the power density emitted from transmitting antennas exceeds the FCC's maximum permissible exposure limit for the general public but is less than the occupational exposure limit.</p>	N/A	N/A
	<p>Yellow Caution Sign Used to alert individuals that they are entering an area where the power density emitted from transmitting antennas may exceed the FCC's maximum permissible exposure limit for the general public and the occupational exposure limit.</p>	N/A	N/A

RF Signage and Safety Information

RF Signage

Areas or portions of any transmitter site may be susceptible to high power densities that could cause personnel exposures in excess of the FCC guidelines. These areas must be demarcated by conspicuously posted signage that identifies the potential exposure. Signage **MUST** be viewable regardless of the viewer's position.

GUIDELINES	Category Two - Notice	Category Three - Caution	Category Four - Warning
This sign will inform anyone of the basic precautions to follow when entering an area with transmitting radiofrequency equipment.	This sign indicates that RF emissions may exceed the FCC General Population MPE limit. <ul style="list-style-type: none"> • Sign Color Blue • Sign Signal Word "Notice" 	This sign indicates that RF emissions may exceed the FCC Occupational MPE limit. <ul style="list-style-type: none"> • Sign Color Yellow • Sign Signal Word "Caution" 	This sign indicates that RF emissions may exceed at least 10x the FCC Occupational MPE limit. <ul style="list-style-type: none"> • Sign Color Orange for Warning • Sign Signal Word "Warning"
			

Category One - Information	
<p>Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.</p> <ul style="list-style-type: none"> • Sign Color Green • Sign Signal Word "Information" 	

Physical Barriers

Physical barriers are control measures that require awareness and participation of personnel. Physical barriers are employed as an additional administration control to complement RF signage and physically demarcate an area in which RF exposure levels may exceed the FCC General Population limit. **Example:** chain-connected stanchions

Indicative Markers

Indicative markers are visible control measures that require awareness and participation of personnel, as they cannot physically prevent someone from entering an area of potential concern. Indicative markers are employed as an additional administration control to complement RF signage and visually demarcate an area in which RF exposure levels may exceed the FCC General Population limit. **Example:** paint stripes

Occupational Safety and Health Administration (OSHA) Requirements

A formal adopter of FCC Standards, OSHA stipulates that those in the Occupational classification must complete training in the following: RF Safety, RF Awareness, and Utilization of Personal Protective Equipment. OSHA also provides options for Hazard Prevention and Control:

Hazard Prevention	Control
<ul style="list-style-type: none"> • Utilization of good equipment • Enact control of hazard areas • Limit exposures • Employ medical surveillance and accident response 	<ul style="list-style-type: none"> • Employ Lockout/Tag out • Utilize personal alarms & protective clothing • Prevent access to hazardous locations • Develop or operate an administrative control program

Appendix C

Federal Communications Commission (FCC) Requirements

The FCC has established Maximum Permissible Exposure (MPE) limits for human exposure to Radiofrequency Electromagnetic (RF-EME) energy fields, based on exposure limits recommended by the National Council on Radiation Protection and Measurements (NCRP) and, over a wide range of frequencies, the exposure limits developed by the Institute of Electrical and Electronics Engineers, Inc. (IEEE) and adopted by the American National Standards Institute (ANSI) to replace the 1982 ANSI guidelines. Limits for localized absorption are based on recommendations of both ANSI/IEEE and NCRP.

The FCC guidelines incorporate two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general public/uncontrolled exposure limits for members of the general public.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general public/uncontrolled limits (see below), as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

General public/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public would always be considered under this category when exposure is not employment-related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area.

Table I and Figure I (below), which are included within the FCC's OET Bulletin 65, summarize the MPE limits for RF emissions. These limits are designed to provide a substantial margin of safety. They vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are "time-averaged" limits to reflect different durations resulting from controlled and uncontrolled exposures.

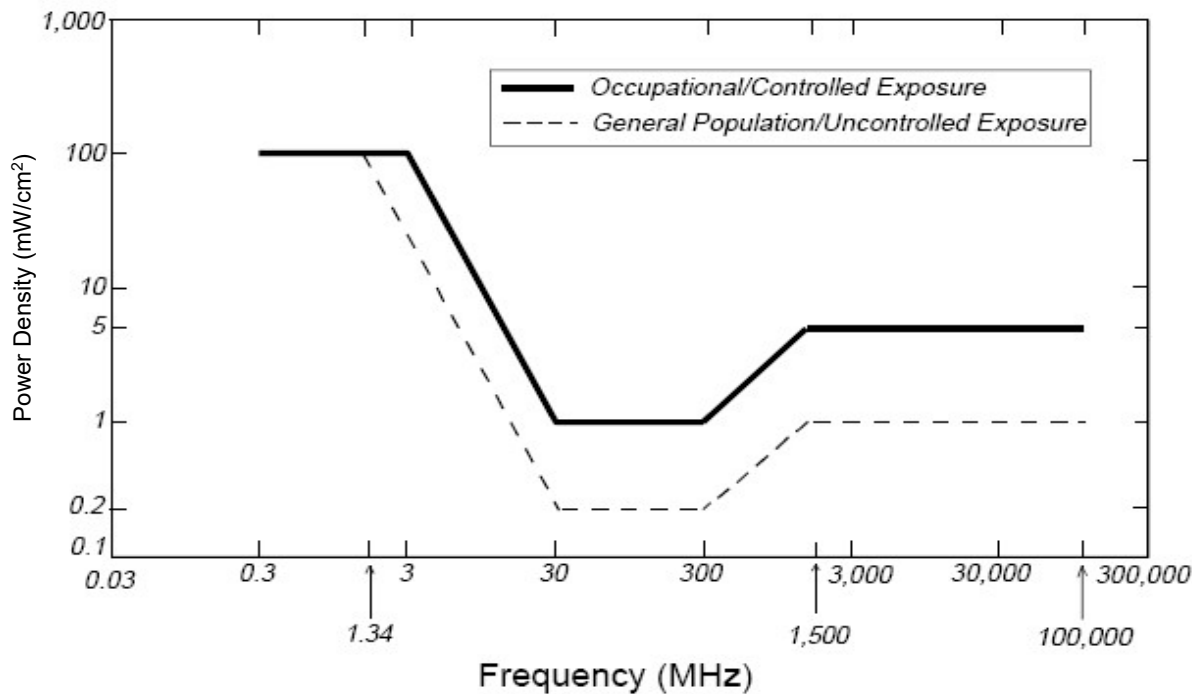
The FCC's MPEs are measured in terms of power (mW) over a unit surface area (cm²). Known as the power density, the FCC has established for equipment operating at frequencies range from 300 Mhz to 1,500 Mhz the Occupational/Controlled limit of $(f/300)$ mW/cm² where f is the Frequency in (MHz) and the General Population / Uncontrolled limit of $(f/1500)$ mW/cm² where f is the Frequency in (MHz). For equipment operating at frequency ranges from 1900 MHz to 100,000 MHz, the FCC's occupational MPE is 5.0 mW/cm² and an uncontrolled MPE limit of 1.0 mW/cm². These limits are considered protective of these populations.

Table 1: Limits for Maximum Permissible Exposure (MPE)				
(A) Limits for Occupational/Controlled Exposure				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time [E] ² , [H] ² , or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1,500	--	--	f/300	6
1,500-100,000	--	--	5	6
(B) Limits for General Public/Uncontrolled Exposure				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time [E] ² , [H] ² , or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1,500	--	--	f/1,500	30
1,500-100,000	--	--	1.0	30

f = Frequency in (MHz)

* Plane-wave equivalent power density

Figure 1. FCC Limits for Maximum Permissible Exposure (MPE)
Plane-wave Equivalent Power Density



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Personal Communication (PCS) facilities used by Verizon in this area will potentially operate within a frequency range of 700 to 2100 MHz. Facilities typically consist of: 1) electronic transceivers (the radios or cabinets) connected to wired telephone lines; and 2) antennas that send the wireless signals created by the transceivers to be received by individual subscriber units (PCS telephones). Transceivers are typically connected to antennas by coaxial cables.

Because of the short wavelength of PCS services, the antennas require line-of-site paths for good propagation, and are typically installed above ground level. Antennas are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. This design, combined with the low power of PCS facilities, generally results in no possibility for exposure to approach Maximum Permissible Exposure (MPE) levels, with the exception of areas directly in front of the antennas.

FCC Compliance Requirement

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards.

OFFICE OF
COUNTY COUNSEL

SOLANO COUNTY GOVERNMENT CENTER
675 TEXAS STREET, SUITE 6600
FAIRFIELD, CALIFORNIA 94533
(707) 784-6140
FAX (707) 784-6862

BERNADETTE S. CURRY
COUNTY COUNSEL

CARRIE BLACKLOCK
ASSISTANT COUNTY COUNSEL



LEE AXELRAD
JULIE A. BARGA
MEGAN J. CALLAWAY
KIMBERLEY G. GLOVER
JAMES W. LAUGHLIN
JENNIFER MAGEE
LORI A. MAZZELLA
MICHAEL E. MCDONALD
ANA C. OLDWIN
JANICE R. STILLMAN
HOLLY TOKAR
DANA VAUGHN
CLARISA P. WELCH
KELLY A. WELSH
DEPUTY COUNTY COUNSELS
CYNTHIA GORDON FOREMAN
CLAIMS AND CIVIL LITIGATION MANAGER

December 11, 2024

Paul Albritton
155 Sansome Street, Suite 620
San Francisco, CA 94104

VIA EMAIL: pa@mallp.com

RE: Use Permit Application No. U-24-08

Dear Mr. Albritton:

We write to you with respect to Use Permit Application No. U-24-08 for a new freestanding 80' wireless communication facility located at 5778 Dixon Avenue West, Dixon, CA 95620 (APN 0109-020-080), submitted to the Solano County Planning Services Division ("Application"). Federal law obligates the County to take final action on the Application within a specified time period unless the time period is extended by mutual consent. The County believes this time period will expire before the County will be able to take a final action on the Application. When countersigned, this letter will confirm an agreement between the applicant, GTE Mobilnet of California L.P. dba Verizon Wireless, and the County to extend the applicable time period for final County action on the Application under the federal Telecommunications Act.

The federal Telecommunications Act requires that local governments act on wireless siting applications "within a reasonable period of time." *See 47 USC § 332(c)(7)(B)(ii)*. Under rules adopted by the FCC, there is a legal presumption that a local government has violated this "reasonable period of time" requirement if it takes longer than 90 days to act on an application to collocate a wireless facility other than a Small Wireless Facility using an existing structure, or 150 days to act on an application to deploy a wireless facility other than a Small Wireless Facility using a new structure. *See 47 CFR § 1.6003*. This presumptively reasonable period of time for review of an application may be extended by written agreement between the applicant and the siting authority. *47 CFR § 1.6003(d)*.

In order to allow the County to act on the Application in an orderly manner, without either party risking the loss of important rights, the parties agree that the time period within which the County Planning Commission may take action on the Application shall be extended through February 20, 2025. The parties also agree that if the Application is appealed to the Board of Supervisors, that the time period for final action on the Application is further extended to April 8, 2025. The parties agree that no limitations period for any claim of unreasonable delay in processing the Application shall commence to run before said dates.

If you agree, this letter agreement may be executed in counterparts, and scanned or facsimile signatures shall be deemed equivalent to original signatures. I will appreciate your returning a countersigned copy to me.

Sincerely,



Holly Tokar, Deputy County Counsel

ACCEPTED AND AGREED TO:

GTE Mobilnet of California L.P.
dba Verizon Wireless

By:



Printed name: Paul Albritton

Date: December 11, 2024

Title: Counsel to Verizon Wireless

NOTICE OF ZONING APPLICATION VERIZON WIRELESS TELECOMMUNICATIONS FACILITY

Applicant: GTE Mobilnet California LP d/b/a Verizon Wireless

Applicant's Agent: Kevin Gallagher, Complete Wireless Consulting, 916-764-2632,
kgallagher@completewireless.net

Site Name: Dixon Pitt

Address: 5778 Dixon Avenue West, Dixon, CA 95620

APN: 0109-020-080

Please be advised that Verizon Wireless has submitted an application for a new freestanding wireless facility at the above referenced location to the Solano County Resource Management Department, Planning Division. In accordance with the recommendations of the Solano County Good Neighbor Policy, Verizon is sending out this notice to all landowners and residence within a **TBD** radius of the proposed facility location.

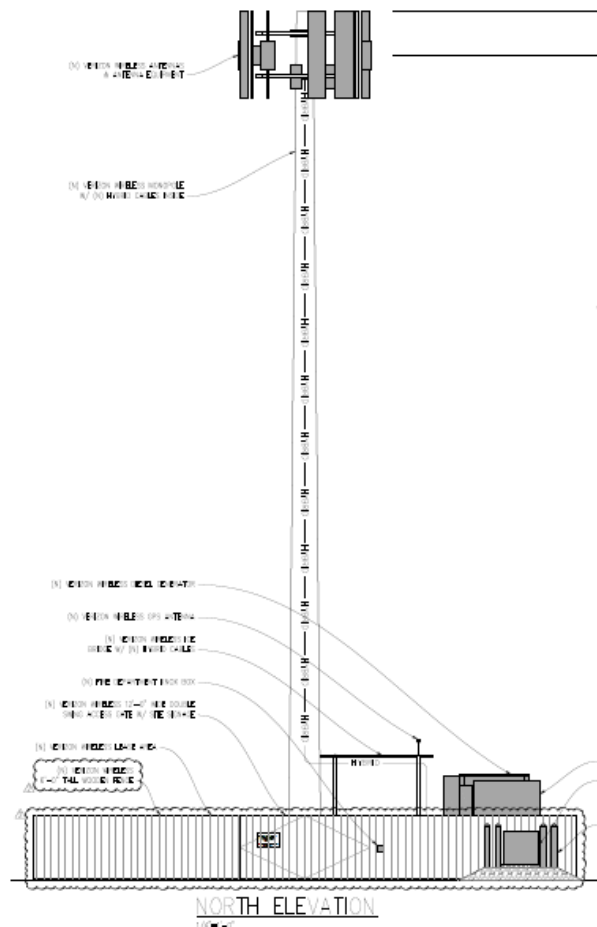
The project will provide additional coverage and capacity to the surrounding area and relieve network congestion.

Project Design:

- 80' tall monopole, painted a non-reflective gray.
- 40' x 50' compound surrounded by wooden fence
- Standby Generator for service during emergencies

Project Timeline

- A complete project application is currently on file with the Planning Division.
- The project will require a public hearing and a building permit.
- The applicant aims to begin construction within one year's time.





February 7th, 2025

Via Email

Solano County Resource Management
Planning Services Division
675 Texas Street Ste 550
Fairfield, CA 94533
Attn: Travis Kroger

**Re: Good Neighbor Policy Report - Verizon Wireless and Sun State Towers U-20-08
Application NOI Response Letter, 5778 Dixon Avenue West, Dixon CA 95620
(APN 0109-020-080); Site Name: Dixon Pitt**

Dear Mr. Kroger,

In accordance with Sonoma County's Good Neighbor Policy, Solano County staff provided the applicant with a list of all owners of properties within ½ mile of the above referenced project location. This letter is to confirm that the applicant has mailed a notice, previously provided to the County for review, to inform them of the project and solicit feedback. The notices were mailed on January 13th, 2025. A certificate of mailing, USPS Form 3665, is enclosed as required to document the mailing of the notices, along with a copy of the notice.

This letter is to inform you that as of today's date, we have not received any comment via phone, mail, or email. Per the Good Neighbor Policy, the applicant is required to provide a summary of neighborhood comments received and any changes to the project made as a result. Please consider this letter as fulfilling this requirement – we will advise staff up until the hearing of any subsequent feedback from the public we receive.

I can be reached at 916-764-2632 or by email if you would like to discuss.

Sincerely,

A handwritten signature in blue ink that reads "Kevin Gallagher".

Kevin Gallagher
KGallagher@completewireless.net
Complete Wireless Consulting, Inc.
Enclosures

NOTICE OF ZONING APPLICATION VERIZON WIRELESS TELECOMMUNICATIONS FACILITY

Applicant: GTE Mobilnet California LP d/b/a Verizon Wireless

Applicant's Agent: Kevin Gallagher, Complete Wireless Consulting, 916-764-2632,
kgallagher@completewireless.net

Site Name: Dixon Pitt

Address: 5778 Dixon Avenue West, Dixon, CA 95620

APN: 0109-020-080

Please be advised that Verizon Wireless has submitted an application for a new freestanding wireless facility at the above referenced location to the Solano County Resource Management Department, Planning Division. In accordance with the recommendations of the Solano County Good Neighbor Policy, Verizon is sending out this notice to all landowners and residents within a one half mile radius of the proposed facility location to provide an opportunity to give feedback to the applicant, whose contact information is above.

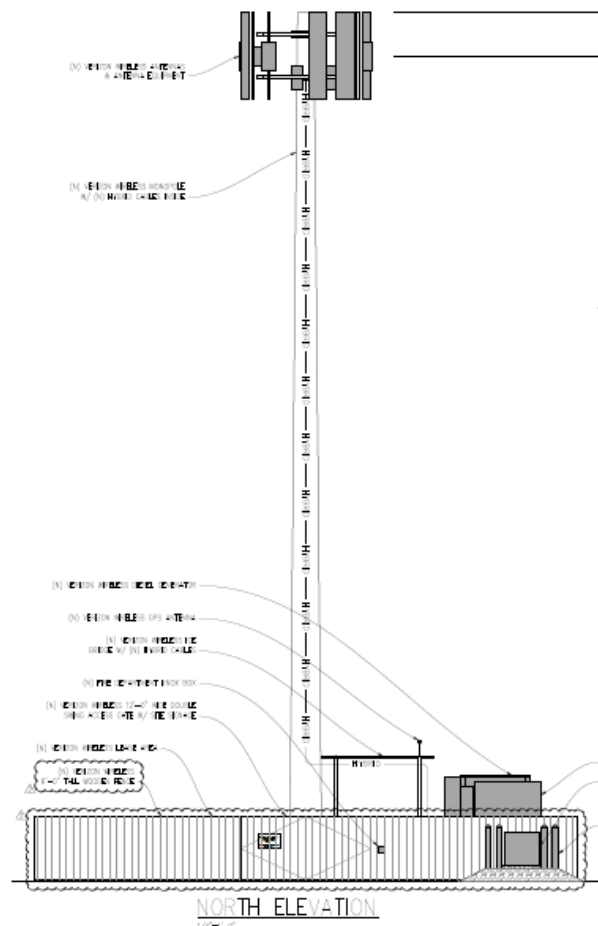
The project will provide additional coverage and capacity to the surrounding area and relieve network congestion.

Project Design:

- 80' tall monopole, painted a non-reflective gray.
- 40' x 50' compound surrounded by wooden fence
- Standby Generator for service during emergencies

Project Timeline

- A complete project application is currently on file with the Planning Division. (A determination of completeness does not constitute approval or denial of the application.)
- The project will require a public hearing and a building permit. A tentative hearing date has been set for February 20, 2025 before the Solano County Planning Commission.
- The applicant aims to begin construction within one year's time.





Certificate of Mailing — Firm

Name and Address of Sender

Neven Gallagher
2004 V St
Sacramento, CA 95818

TOTAL NO.
of Pieces Listed by Sender

6

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here
Postmark with Date of Receipt.

U.S. POSTAGE PAID
SACRAMENTO, CA
95818
JAN 13, 25
AMOUNT
\$3.90
S2324D500343-20



0000

Postmaster, per (name of receiving employee)

[Signature]

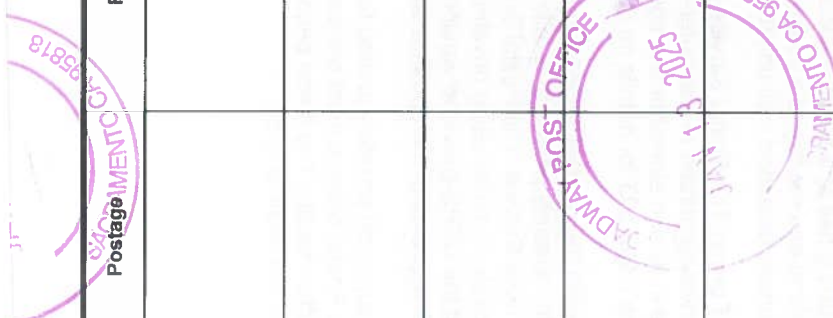
USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Parcel Airlift

Fee

1.	Bebe Maria Pear Holdings, LLC P.O. Box 1107 Woodland CA 95692		
2.	Luisa Graciela 3 Gonzalez 7706 Serra Ln Dixon CA 95620		
3.	Camara Rebecca Lynn 7707 Serra Ln Dixon CA 95620		
4.	Sally Jo Ann USA Corp 5944 Dixon Ave W Dixon CA 95620		
5.	Rebecca Marjorie & TR 7712 Serra Ln Dixon CA 95620		
6.	Stacy Kimmer 7732 Serra Ln Dixon CA 95620		



Instructions for Certificate of Mailing — Firm

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- Domestic services: First-Class Mail®, Priority Mail®, Media Mail®, Library Mail, Bound Printed Matter and Parcel Return Service (for NSAs only).
- International services: First-Class Mail International® (unregistered items), First-Class Package International Service® (unregistered items), Free Matter for the Blind, and Airmail M-bags®.

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1. Complete and print all forms in ink or ball point pen.
2. Enter the name and address of the sender at the top of the form.
3. Enter a complete return address on each article.
4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
6. Insert a firm-specific identifier or account number if desired. (This number is for the sender's use only, and the Postal Service will not use it for identification.)
7. When describing and listing three or more individual pieces but not presenting the pieces in the order shown on the sheet, consecutively number each entry line on the sheet and number each piece to show both the corresponding sheet and line number.
8. Enter the total number of articles in the proper space at the top of the form.
9. Obliterate all unused portions of the "Address" column by drawing a diagonal line through the unused portion on the form.
10. When the number of articles presented exceeds the allotted space on the form, use multiple sheets, and in the provided blank spaces in the lower left of the form, number them consecutively to show sheet number and total number of sheets (such as "Page 1 of 4," "Page 2 of 4," etc.).

11. Present PS Form 3665 and the mailing as follows:

- When the mailing has fewer than 50 mailpieces and less than 50 pounds, present the form and mailing at a retail Post Office™ location.
- When the mailing has at least 50 mailpieces or at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).

Privately Printed Forms: The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

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A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal service does not retain a copy).



Certificate of Mailing — Firm

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.	Postage	Fee	Parcel Airlift
Name and Address of Sender Veron Callaghan 2004 V St Sacramento, CA 95818	6	6		0000	U.S. POSTAGE PAID SACRAMENTO, CA 95818 JAN 13, 25 AMOUNT \$3.90 S2324D500343-20	
USPS® Tracking Number Firm-specific Identifier	Postmaster, per (name of receiving employee)					
	Address (Name, Street, City, State, and ZIP Code™)					
1.	Broderick Mercedes St ST 629 West St Dixon CA 95620					
2.	Myrae Deborah STR 7776 Nines Rd Dixon CA 95620					
3.	Georena Gilberto Blaylock ST 7790 Serda Ln Dixon CA 95620-9789					
4.	District Faith TR 7800 Serda Ln Dixon CA 95620					
5.	Quirque Miguel 5830 Dixon Ave W Dixon CA 95620					
6.	Frank Peter S S Seminter G ST 7820 Serda Ln Dixon CA 95620					

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Kevin Gallagher 2007 V St Sacramento, CA 95818	6	6		0000			
USPS® Tracking Number Firm-specific Identifier	Postmaster, per (name of receiving employee)						
1.	Address (Name, Street, City, State, and ZIP Code™) Mother Robert & Nichole LTR 5646 Dixon Ave W Dixon CA 95620						
2.	Address (Name, Street, City, State, and ZIP Code™) Moore Larry TR 5680 Dixon Avenue West Dixon CA 95620						
3.	Address (Name, Street, City, State, and ZIP Code™) Sally Casano USA card 5844 Dixon Ave W Dixon CA 95620						
4.	Address (Name, Street, City, State, and ZIP Code™) Quintz Miguel 695 Friday Dr Dixon CA 95620						
5.	Address (Name, Street, City, State, and ZIP Code™) Solano Laundry 675 Texas St Suite 2500 Fairfield CA 94533						
6.	Address (Name, Street, City, State, and ZIP Code™) Whitcomb Val Val LLC P.O. Box 1507 Dixon CA 95620						

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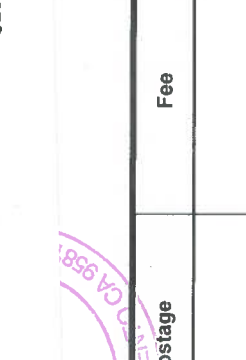

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)					
1.	Bivante Foreign TR 1531 Mariposa Way Fairfield CA 94533					
2.	Mellor Walter F 5779 W Dixon Ave Dixon CA 95620					
3.	Dischamb Farms Ltd 2170 Jackson St #3 San Francisco CA 94115					
4.	Carbon Farms 1909 Galena Rd Dixon CA 95620					
5.						
6.						

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Attachment I - Vicinity Map

Attachment J
File #PC 25-003

Project
Location



Dixon Ave W

Dixon Ave W

73 ft

82 ft

Nunes Rd

79 ft

Serpa Ln

Dixon



0.25

73 ft

Miles



DEPARTMENT OF RESOURCE MANAGEMENT



Planning Services Division

NOTICE OF PUBLIC HEARING

(Planning Commission)

NOTICE IS HEREBY GIVEN that the Solano County Planning Commission will hold a PUBLIC HEARING to consider Application No.: U-24-08 of Complete Wireless Consulting, Inc for Verizon to establish a new wireless communication facility consisting of an 80' monopole within a 2,500 square foot lease area located at, located one mile east of the City of Dixon in the Exclusive Agriculture 40-acre minimum (A-40) zoning district. The project has been determined not to have a significant effect on the environment and is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures. The property is located at 5778 Dixon Avenue West, APN: 0109-020-080. (Project Planner: Travis Kroger, 707-784-6765)

The hearing will be held on **Thursday, February 20, 2025 at 7:00 p.m.** in the Board of Supervisors Chambers, County Administration Center, 1st Floor, 675 Texas Street, Fairfield, California. Staff reports and associated materials will be available to the public approximately one week prior to the meeting at www.solanocounty.com under Departments; Resource Management; Boards, Commissions & Special Districts; Solano County Planning Commission.

The County of Solano does not discriminate against persons with disabilities. If you wish to participate in this meeting and you will require assistance in order to do so, please contact the Department of Resource Management at 707-784-6765 at least 24 hours in advance of the event to make reasonable arrangements to ensure accessibility to this meeting.

PUBLIC COMMENTS:

In-Person: You may attend the public hearing at the time and location listed above and provide comments during the public speaking period. Email/Mail: Written comments can be emailed to PlanningCommission@SolanoCounty.com or mailed to Resource Management, Planning Commission, 675 Texas Street, Suite 5500, Fairfield, CA 94533 and must be received by 10:00 a.m. the day of the meeting. Copies of written comments received will be provided to the Planning Commission and will become a part of the official record but will not be read aloud at the meeting.

If you challenge the proposed consideration in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Daily Republic - legal ad/one time – February 5, 2025