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PUBLIC HEARING to consider **Use Permit** for **Application No. U-19-08** for the **Bally Keal Project**. The Project would establish a new medium-sized winery, add a 6,000 square foot expansion to an existing building for a winery, distillery and tasting room, a future 6,000 square foot expansion to the south side of the building for equipment storage and convert an existing 12,000 square foot building to establish a large Special Events Facility in association with the winery. In addition, an existing 1,800 square foot building would be removed and rebuilt.

The property is 79.29 acres in size, located at 4286 Suisan Valley Road, one mile southwest of the City of Fairfield. The property is designated "A-SV-20" Agriculture-Suisun Valley Zoning District. (APN: 0027-030-010). The Planning Commission will also be considering adoption of a Mitigated Negative Declaration of Environmental Impact as recommended by the Solano County Department of Resource Management. (Project Planner: Kathy Pease, AICP, Contract Planner)

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Published Notice Required? Yes X No
Public Hearing Required? Yes X No

DEPARTMENTAL RECOMMENDATION:

The Department of Resource Management recommends that the Planning Commission:

1. Conduct a noticed public hearing to consider Use Permit Application No. U-19-08 for the Bally Keal Project to allow for a special events facility and expansion to an existing building to establish a winery, distillery and tasting rooms.
2. Adopt a resolution to adopt the Mitigated Negative Declaration and **Approve** Use Permit U-19-08 (Attachment A).

SUMMARY:

I. INTRODUCTION:

The Planning Commission is being asked to consider the adoption of a Mitigated Negative Declaration and the approval of a Use Permit (U-19-08) for the Bally Keal Project to establish a medium-sized winery and distillery and establish a large Special Event Facility (more than 12 events per year). It is anticipated that the Special Event Facility would host weddings, community events, fund raisers, holiday events, educational and private gatherings. The event facility would include a main event hall space, commercial kitchen, dressing rooms, rest rooms, storage and covered and uncovered seating areas. The Project proposes 45 events per year, with up to 400 persons per event.

The Planning Commission, after the conduct of a public hearing on this matter, may choose one of the following options:

1. Approve, or conditionally approve, the use permit for the project, or
2. Deny the use permit, or
3. Continue the hearing in order to obtain additional information.

II. PROJECT DESCRIPTION:

The site has a General Plan Designation of Agriculture with a zoning designation of A-SV-20: Agricultural Suisun Valley - 20 acres. The site is under a Williamson Act contract and is within the 100-year flood plain.

Existing Uses

The property is developed with a six-bedroom residence with indoor pool, a four-bedroom secondary residence, a large barn, a 24,000 square foot storage building, at least two City of Vallejo fire hydrants, and a vineyard in the Suisun Valley Agricultural area.

The Project site has seven existing buildings:

1. The original 1,600 square foot single family home near the southern entrance (“secondary dwelling unit”).
2. An 1,800 square foot accessory metal structure (metal barn) east of the secondary dwelling unit that is used by the tenant for parking and storage.
3. An 1,800 square foot metal building used for storage of tractors and vineyard equipment on the south side of the southern access road, east of the entrance gate.
4. A 24,000 square foot metal warehouse located at the east end of the southern driveway that is used for tractors and vineyard equipment storage.
5. A 12,000 square foot metal warehouse with a stucco exterior is located northeast of the private residence and east of the private garage that was used for storage in the past.
6. An 8,000 square foot detached storage garage for the private residence which is accessed from the northern access road.
7. A 22,000 square foot private residence (“primary dwelling unit”) completed in June 2000 that is accessed from the northern access road and will continue to be used by the property owner

Williamson Act

The use of the site to establish a medium-sized winery and associated wine and distillery tasting, and Special Event Facility is in conformance with the Williamson Act contract.

Proposed Project

Although the vineyard is existing and surrounds the developed portion of the site, the Project would establish a new winery and Special Event Facility. The Project would consist of repaving the southern driveway, conversion of an existing storage building to establish a Special Event Facility associated with the new winery, and addition/construction of new winery and distillery tasting rooms to an existing building, new parking areas, and landscaping for an outdoor dining area, as described below.

Conversion of and addition to the 24,000 square foot existing metal building

The project proposes to convert the 24,000 square foot storage building for the winery, distillery, and future brewery uses, which includes a 6,000 square foot addition facing the vineyards to the east for tasting rooms and a future 6,000 square foot farm equipment addition to the south side (“Winery Building”).

The wine tasting room will be 1,468 square feet. 732 square feet will be for tax paid and bonded spirits storage and 476 square feet for mechanical equipment. An additional 1,454 square feet would be for tax paid and bonded spirits storage located in the existing building.

The wine processing facility includes the conversion of 11,700 square feet of the existing building; 2,276 square feet of administrative offices, restroom and support spaces; 5,000 square feet of refrigerated tax paid and bonded wine storage, with the remaining 4,200 to be used for winery and vineyard management storage.

The distillery tasting room would be 1,360 square feet with a second roofed outdoor patio to allow social distances standards in response to the Pandemic. Distillery equipment will be shared with

the future brewery, which plans to use the distillery and winery as flavoring agents in their craft beers.

The outdoor patio area would be 3,224 square feet.

Existing 1,800 square foot Metal Building

This building located on the south side of the south access road, east of the entrance gate will be demolished and replaced; a like-kind 1,800 square foot building will be relocated on the opposite side of the southern access road from its current location to be used for equipment storage.

Wine/Distillery Production

Total annual production of 90,000-gallons, with wine comprising most of the production, would classify the project as a medium winery under Solano County Zoning Regulations having a production capacity of less than 100,000 gallons annually. Approximately 26,000 gallons of wine would originate from the project site. Grape on-haul (bringing grapes for the winery from offsite locations) for the remaining 64,000 gallons would be approximately 600 tons. Within the 90,000-gallon production total, the facility would also produce a smaller amount of distilled grape-grain beverage such as Brandy, Grappa and Eau de vie. Other distilled spirits may include Rum, Tequila, Japanese style Whiskey, Irish Whiskey, Moutai and Gin and craft beer in the future. If demand is adequate, production for the distilled spirits is expected to be approximately 5,000 gallons, though the total wine and distilled beverage production would remain at 90,000 gallons or less annually.

The Applicant anticipates average visitation of approximately 60 weekday visitors and 100-weekend day visitors. The tasting room hours would be daily, from 11 a.m. until 5 p.m. Up to five full time employees will work on the property.

Special Events Center

The Project would convert an existing 12,000 square foot storage building to a large Special Events Facility. The facility would host weddings, corporate and charity events, or other similar special events. Events could also occur outdoors adjacent to the event building. A bar space is proposed but it will not be an owner -licensed bar. Instead, it will be available for use during special events for a licensed beverage caterer. It is expected that up to 45 events would occur annually, with most events occurring between Thursday and Sunday. Of these 45 events, ten could have up to 100 people in attendance, 25 events could have up to 200 people and ten events could have up to 400 people.

The wine and spirits tasting rooms and outdoor spaces will be available for use as part of the special events. The Applicant originally proposed that the tasting rooms would remain open to the public during special events, but a condition of the traffic study recommends that public tastings be restricted during special events to reduce the number of vehicle trips. This has been made a condition of the Project. There would be a minimum of three employees onsite and up to five employees to run the tasting rooms and the winery/distillery.

Events will be open to invitees only. The outdoor lawn area would accommodate weddings and other tented events. Live music is proposed, with both DJs and live bands being utilized. Per Condition of Approval No. 18, no outside equipment shall be brought in to reduce the potential for noise impacts. Amplified music will be directed toward the existing primary dwelling and event center, and will be supplied and controlled by the Applicant. The Project will be required to meet the Zoning Code noise standard of 65 dBA at the property line.

The Project does not involve any overnight stays at the private residence nor access to the private pool.

All events are expected to occur between 10:00 a.m. and 10 p.m. Consistent with County Code, all events shall start no sooner than 10:00 a.m. and end by 10:00 p.m. each day. Facility setup and cleanup shall be allowed between the hours of 8:00 a.m. to 11:00 p.m. All guests are to be off the property by 10:30 p.m.

Project Construction

It is expected that construction associated with the expansion and renovation would be completed within three years of permit authorization.

Access and Circulation

The subject property has frontage on Suisun Valley Road between Rockville and Mankas Corner Roads. Suisun Valley Road is a rural two-lane roadway with unimproved shoulders and no sidewalk or bicycle lanes. Two access driveways serve the project site. The northern driveway provides access to the main home, winery, event center and main parking lot. The southern driveway provides access to the secondary residence. This access will be improved and widened to 22 feet for emergency vehicles and as a second means of access to the parking lot, winery, and event center. For large events, guests would enter from the north driveway and exit via the south driveway. This one-way traffic pattern will avoid queuing on Suisun Valley Road and will provide additional onsite parking.

A traffic study was completed by GHD, Inc., dated May 29, 2020, which looked at existing and plus Project conditions, and Cumulative conditions as well as vehicle access and turn lanes at the Project driveway. The analysis determined that the project would not impact traffic level of service conditions based on the Solano County significance thresholds. The traffic study indicated that the winery is typical sized and would not warrant a separate left-turn lane. The winery volumes would not warrant a right-turn lane. Event volumes would also not warrant a right-turn lane. Event volumes would be temporary. The existing driveway design provides a wide turning radius which would facilitate inbound right turns.

A focused Vehicle Miles Traveled (VMT) analysis was prepared by GHD March 12, 2021. The winery/distillery is expected to generate 65 weekday trips and 95 weekend trips. As mentioned previously a mitigation measure is included to limit public tastings during special events to reduce vehicle trips. This is included in Condition No. 37.

Parking

A total of 168 parking spaces are proposed. Parking will be provided in multiple areas of the site for event guests, staff and visitors. The primary area will be paved and include 48 spaces between the proposed event center and the winery/distillery building. Four additional parking spaces across from the parking lot, six parking spaces south of the Event Center, four parking spaces near the Event Center outdoor area and ten parking spaces adjacent of the Winery Building. In addition, 77 parking spaces will be available along the gravel shoulder of the southern driveway. Parking is required at a ratio of one space for every 2.5 guests, therefore, 160 spaces are required. In addition, the traffic study indicated 161 spaces should be provided to accommodate special events. The Applicant has indicated additional parking for large events would be additionally accommodated in the existing gravel RV parking area which would provide 19 additional spaces, for a total of 168 spaces. Condition No. 21 requires that 160 spaces be provided. In addition, eight motorcycle spaces would be available at the west end of the Winery and 11 bicycle parking spaces will be available between the parking lot and Winery building.

Signs

Proposed signs include one sign at each driveway and a third sign to identify the Bally Keal Vineyard. Sign permitting will be required conforming to the requirements set forth in Section 28.96 of the County Zoning Regulations.

Infrastructure

Stormwater

The project site currently has approximately 175,650 square feet of impervious area. The proposed project would increase the total impervious area by approximately 56,010 square feet with the addition of a parking lot and the 6,000 square foot addition. The parking lot will be sloped toward the southeast allowing stormwater to runoff to the vineyards. Therefore, a storm water detention pond is not proposed as the impervious area is located in the center of the site that is surrounded by vineyards.

Water Supply - Potable

The City of Vallejo provides domestic water service to the site. The property has an existing 1.5-inch meter and backflow prevention device. Based on correspondence from the City of Vallejo it is likely that water service would need to be expanded to accommodate the converted facilities and their intended uses. The property also contains two domestic potable water wells.

Water Supply - Irrigation Water and Fire Suppression

The Suisun-Solano Water Authority supplies water for irrigation and fire suppression. Existing buildings constructed after 2008 have fire sprinkler systems that are served by an 8-inch water line that also supplies existing standpipes and two existing hydrants.

Wastewater

A permit was approved in January 2021 by the County to remove the existing grease interceptor and the two existing 1,800-gallon septic tanks and install a new updated waste collection and treatment system. This work has been completed. The wastewater will drain into holding tanks and be hauled away for disposal at Oakland's wastewater treatment center.

III. ENVIRONMENTAL ANALYSIS

The Department of Resource Management prepared a revised Initial Study and Mitigated Negative Declaration (IS/MND) (Attachment E) for the proposed project, which was noticed and available for public review and comment between July 7, 2021, through August 6, 2021. The original MND circulated in May 7, 2021 to June 7, 2021. The current MND was prepared and recirculated to respond to comments from the California Fish and Wildlife Department which included new mitigation measures for potential sensitive species which have been included as conditions. The Draft MND identified certain potentially significant impacts together with proposed mitigations to reduce the impacts to a less than significant level along with other impacts determined to be less than significant (See Attachment E):

Since preparation of the MND the Applicant has made non-substantial refinements to the site plan to better respond to social distancing as a result of COVID protocols, including increasing outdoor spaces (see site plan dated December 2020). Staff reviewed these changes and concurred that no new or substantially greater impacts would result from the changes, which are intended to respond to COVID protocols. These changes do not significantly change the impacts identified in the MND.

No comments were received from the California Fish and Wildlife Department on this version of the MND and they indicated that their concerns have been addressed. One comment letter (Attachment G) was received from Richard A Zimmerman dated August 6, 2021, commenting on the following impacts:

1. Noise
2. Stormwater
3. Wastewater
4. Traffic
5. Williamson Act Compliance

A response to each comment is found in Attachment H, Response to Comments and Supplemental Revisions to the Bally Keal Mitigated Negative Declaration, dated October 2021 (Attachment F) include revisions to the Mitigation Negative Declaration. None of the comments resulted in a need to recirculate the MND. All impacts can be mitigated to a less than significant level.

Additional emails were received in support of the Project and are included as correspondence.

DISCUSSION:

General Plan

The property is designated as Agricultural by the 2008 Solano County General Plan which is intended to protect areas devoted to the practice of agriculture. Crop production and agricultural processing activities, including wineries, are consistent with this land use designation. The General Plan also identified this area as being within a special study area. As a result, the County subsequently undertook a planning effort for the Suisun Valley.

Suisun Valley Strategic Plan and Zoning

The Suisun Valley Strategic Plan was adopted by the County in 2010. The Plan designates this property as Agriculture. The Strategic Plan also included new zoning regulations for Suisun Valley. The subject property was rezoned to Agriculture-Suisun Valley (A-SV-20) District. The A-SV-20 District permits Special Event Facilities with a use permit. The proposed event center is consistent with the standards established in the A-SV-20 District.

A 2007 report that established the vision and economic innovation of Suisun Valley indicates that *Suisun Valley is a unique farming region that supports profitable family farms and quality of life for all its residents. It is a destination for tourists seeking world class wine, identifiable Suisun Valley farm products and a beautiful agricultural landscape with no fallow land.*

The Special Event Facility and winery/distillery tasting rooms is consistent with the vision of the Strategic Plan by bringing additional tourists to Suisun Valley and providing economic opportunities. The tasting rooms will allow visitors to purchase wine and distilled spirits that are grown/prepared onsite, which supports the agricultural use.

Design Review

While the project is not a designated Agricultural Tourist Center, the Project was compared against the Suisun Valley Strategic Plan Design Guidelines. The Project is consistent with the Guidelines, in that the materials, roof forms and windows of all the buildings are complementary and consistent with the primary building. The design is Mediterranean in style with stucco walls and rounded roof tiles. The Winery/Distillery and event center are clustered in the central portion of the site, surrounded by vineyards, which maintain the agricultural feel of the site. Landscaping trees mirror both sides of the driveways for spatial continuity and uniform canopy coverage.

Development Review Committee

The project was referred to the Development Review Committee for Solano County. Comments were received from the Environmental Health, Public Works and Building and Safety Divisions. Their requirements have been incorporated into the conditions of approval (Attachment A).

Outside Agency Review

The project was referred to several outside agencies, including:

1. Solano Irrigation District
2. Cordelia Fire Protection District
3. Fairfield-Suisun Unified School District
4. Sonoma State University
5. SF Regional Water Quality Control Board,
6. California Fish and Wildlife Department
7. Bay Area Air Quality Management District
8. City of Vallejo

Conclusion

It is the conclusion of staff that the project as proposed is consistent with all applicable plans and policies of Solano County.

RECOMMENDATION:

The Department of Resource Management recommends that the Planning Commission:

1. Conduct a noticed public hearing to consider Use Permit Application No. U-20-08 of Bally Keal Winery, to establish a new medium sized winery/distillery (100,000 gallons or less), and a large Special Event Facility for events up to 45 times a year and related winery uses located at 4286 Suisun Valley Road, and
2. Adopt a resolution to **Adopt** the Mitigated Negative Declaration including Supplemental Revisions dated October 2021 and **Approve** Use Permit U-19-08 (Attachment A).

Findings

Staff is recommending that the Planning Commission make the following findings in support of approving Use Permit U-19-08:

1. **The establishment, maintenance or operation of the proposed use is in conformity with the County General Plan with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan.**
Special events are permitted in the A-SV-20 district with a use permit. Wineries and distilleries, a form of agricultural processing, are uses considered consistent with the agriculture designation in the 2008 General Plan and the 2010 Suisun Valley Strategic Plan. Further, special events will bring agri-tourism opportunities and economic benefits to the area which is identified as a goal of the Suisun Valley Strategic Plan.
2. **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**
The conditions of approval imposed by this use permit ensure that adequate roads, utility and drainage facilities will be constructed to meet the demands of the proposed winery complex.

- 3. The subject use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

As conditioned, the proposed winery will not constitute a nuisance to surrounding properties, nor will it be detrimental to the health, safety, or welfare of County residents. Adequate mitigation measures and conditions of approval have been incorporated into the project.

Conditions of Approval

Staff is recommending that the Planning Commission adopt a resolution approving Use Permit U-19-08, including the Conditions of Approval in Attachment A.

ATTACHMENTS:

- A - Resolution/Conditions of Approval
- B - Vicinity Map
- C - Aerial View
- D - Site Plan
- E - Initial Study/Mitigated Negative Declaration (MND)
- F- Supplemental Revisions to MND
- G - Letter from Richard A. Zimmerman dated August 5, 2021
- H - Response to MND Comments
- I - Project info from Duane Morris
- J - Correspondence

SOLANO COUNTY PLANNING COMMISSION RESOLUTION NO. xxxx

WHEREAS, the Solano County Planning Commission has considered a Use Permit U-19-08 for the Bally Keal Winery/Distillery and Event Facility including a 6,000 square expansion to an existing building to allow winery, distillery and tasting rooms, and to convert an existing building into a special events facility, and associated parking lot improvements, located at 4286 Suisun Valley Road, in an A-SV-20 Zoning District, APN 0027-030-010; and

WHEREAS, The Commission has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on October 21, 2021; and

WHEREAS, after due consideration, the Planning Commission has made the following findings in regard to said proposal:

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the County General Plan with regard to traffic circulation, population density and distribution and other aspects of the General Plan.**

The use is consistent with the General Plan and the Suisun Valley Strategic Plan. The proposal is consistent with the Suisun Valley vision as a tourist destination for those seeking world class wine, by supporting agricultural tourism and economic development. Wineries and distilleries are an allowed use in the zoning district and Special Event facilities are a conditionally permitted land use within the agricultural zoning district. According to the traffic studies, the proposed use with mitigation would not result in a significant impact.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

Vehicular access to the site will be from two driveways off of Suisun Valley Road (ingress and egress) during Special Events. The site has existing electrical power, and the building plans will be reviewed and approved by the Solano County Building and Safety Division before a permit is issued. Grading and drainage plans will be reviewed and approved by the Public Works Engineering Division. The Solano Irrigation District supplies irrigation water to the site, and the City of Vallejo and/or onsite potable water wells will provide potable water supplies. Onsite septic service will be provided of sufficient size to serve wastewater uses.

- 3. The subject use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

A Draft Initial Study and Mitigated Negative Declaration was prepared and circulated by the Department of Resource Management. With mitigation, no potentially

significant adverse environmental impacts are likely to occur with this Project. Implementation of conditions of approval would prevent the Project from creating significant effects to persons residing or work in or passing through the neighborhood; nor would the conditioned project be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

BE IT, THEREFORE, RESOLVED, that the Planning Commission of the County of Solano does hereby approve Use Permit No. U-19-08 subject to the following recommended conditions of approval:

CONDITIONS OF APPROVAL

Administrative

1. **Land Use.** The proposed land use shall be established and operated in accord with the application materials and development plans for Use Permit U-19-08 and as approved by the Solano County Planning Commission.

This permit authorizes special events with up to 45 events per year, (10 events up to 100 guests, 25 events up to 200 guests, and 10 events with up to 400 persons per event). Pursuant to Section 28.01 of the Solano County Zoning Regulations Special Events are defined as a facility offered for use by third parties for hire for the conduct of social gatherings or similar types of non-commercial events.

The permit also authorizes the operation of the winery and distillery with associated tasting and tours.

2. **Revisions or Modifications in Land Use.** No additional land uses, activities for new or expanded buildings shall be established beyond those identified on the approved development plan and detailed within the project description without prior approval of a revision, amendment new use permit and subsequent environmental review.
3. **Indemnification.** By acceptance of this permit, the permittee and its successors in interest agree that the County of Solano, its officers and employees shall not be responsible for injuries to property or person arising from the issuance or exercise of this permit. The permittee shall defend, indemnify and hold harmless the County of Solano, its officers and employees from all claims, liabilities, losses or legal actions arising from any such injuries. The permittee shall reimburse the County for all legal costs and attorney's fees related to litigation based on the issuance and /or interpretation of this permit. This agreement is a covenant that runs with the land and shall be binding on all successors in interest of the permittee.
4. The Project must comply with all applicable Solano County Zoning regulations and Building Code provisions and secure all required local, state, regional and federal permits required to operate.
5. **Failure to Comply.** Failure to comply with any of the conditions of approval or limitation set forth in this permit shall be cause for the revocation of the use permit and cessation of the permitted uses at the Permittee's expense.

Special Events Facility

6. **Access.** The Special Events Facility shall be operated in compliance with the general requirements for public assembly uses.
7. **Food vendors.** The permittee shall be responsible for ensuring the event organizer and any food vendors utilized by the organizer secure food permits with the Environmental Health Division.
8. **Kitchen Facilities.** Any facilities used for the preparation, storage, handling, or service of food, beverages, or related equipment at events shall be permitted as a food facility by the Environmental Health Division.
9. **Overnight Lodging.** As permitted, the Special Event Facility does not include overnight lodging.
10. **Hours of Operation.** All events shall start no sooner than 10:00 a.m. and end by 10:00 p.m. each day. Facility setup and cleanup shall be allowed between the hours of 8:00 a.m. and 11:00 p.m. All guest of an event shall be off the property by 10:30 p.m.
11. **Sign Permit.** The permittee shall secure and abide by the conditions of an issued sign permit for all commercial signage onsite.
12. **Business License.** The permittee shall secure and abide by the terms and conditions of a Business License issued by Solano County. This approved Use Permit shall constitute as the "Zoning Clearance" necessary to file for the license.
13. **ABC License.** The permittee shall secure and abide by the terms and conditions of an ABC License for the scope of the proposed uses.
14. The applicant will be required to strictly adhere to all California Department of Public Health Orders in effect at time of the start and for the duration of project operations. The applicant is advised to routinely check the CDPH website to ensure the most accurate and up to date Health Orders are adhered to.

A link to the CDPH website is included here:

<https://www.cdph.ca.gov/Programs/CID/DCDC/Pages/Immunization/nCOV2019.aspx>
([California Department of Public Health website](#)).

The applicant will be required to strictly adhere to protocols to operate a safe event throughout the operational period by preventing the spread of Covid-19. Unannounced Environmental Health spot checks can occur by throughout the operational period. If violations are found, the County reserves the right to close the facility until it is deemed to be brought back into compliance with the project's proposed Covid-19 plan.

Operational Controls

15. The Permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to motorist, persons of property in the surrounding areas.

16. The premises shall be maintained in a neat and orderly manner and kept free of accumulated debris and junk.
17. **Fugitive Dust.** Any access from unpaved dirt roads and with unpaved on-site access roads and parking areas shall control fugitive dust with water trucks, sprinkler system or other practices acceptable to the applicable air quality management district, in sufficient quantities to prevent airborne dust.
18. **Noise.**
 - a. Outdoor amplified sound shall not exceed 65 dBA LDN when measured at the property lines.
 - b. No outside vendor noise/entertainment/public address equipment shall be brought in. Amplified equipment shall be provided onsite and controlled by the Applicant.
19. **Light and Glare.** Any outdoor lighting used during events shall be downcast and shielded so that neither the lamp nor the reflector interior surface is visible from any off-site location.
20. **Odor.** The facility shall not cause objectionable odors on adjacent properties.
21. **Parking.** The Special Events Facility shall provide parking on-site to accommodate all guests (160 spaces). No parking shall be allowed within any road right-of-way for 1,000 feet in either direction of any access point or access located on the site. The permittee shall place signs along the interior access ways and at 300-foot intervals on the applicant's property along the road right-of-way indicating this parking restriction. These signs shall be posted no earlier than the day before the event and shall be removed no later than the day following the event.

Parking shall be provided as follows.

 - a. Onsite parking shall be located in an open area with a slope of ten percent or less, at a minimum ratio of one space per 2.5 attendees, on a lot free of combustible material.
 - b. For Special Events of between 200 to 400 guests the permittee shall ensure a traffic coordinator is hired to direct traffic and ensure no parking in the right-of-way and no traffic ques on Suisun Valley Road.
22. **Sanitation:** The permittee shall provide sanitation facilities approved by the Environmental Health Division of adequate capacity that are accessible to attendees and event staff including restrooms, refuse disposal receptacle, potable water and wastewater facilities.
23. **Setbacks:** The Special Events Facility shall be set back 100-feet from any property line and 200-feet from any residence on an adjoining parcel.
24. **Use of Existing Structures:** Existing structures used as part of a Special Events Facility shall comply and be permitted for commercial and public assembly occupancy and be in compliance with the Americans With Disabilities Act (ADA), where applicable.
25. **Insurance.** The operator of the Special Event Facility shall have commercial property insurance for the use.

Planning Division Conditions

26. **Production Reporting:** The winery operator shall report at the end of each calendar year to the Department of Resource Management, the total gallons of wine and spirits produced, in bulk and bottles combined, during the calendar year. Such reporting may alternatively include proof of payment of the annual license renewal fee to the Department of Alcoholic Beverage Control (ABC), including the dollar amount of the fee paid.
27. The proposed winery is subject to minimum development standards which are enumerated in Section 28.23. The proposed winery/distillery shall be developed in compliance with the development standards enumerated in Table 28.23b and Table 28.23C.
28. **Design Review.** Design Review as described in Section 28-103 of the Solano County Zoning Regulations, shall be required for all new construction requiring a building permit.

Mitigation Measures

29. **Air-1; Implementation of Measures to Reduce Construction-Related Exhaust Emissions.** The Application shall be required to implement the following measures to reduce exhaust emissions from construction-related equipment:
 - Commercial electric power shall be provided to the Project site in adequate capacity to avoid or minimize the use of portable gas-powered electric generators and equipment.
 - Where feasible, equipment requiring the use of fossil fuels (e.g. diesel) shall be replaced or substituted with electrically driven equivalents (provided that they are not run via a portable generator set).
 - To the extent feasible, alternative fuels and emission controls shall be used to further reduce NO_x and PM₁₀ exhaust emissions.
 - Onsite equipment shall not be left idling when not in use.
 - The hours of operation of heavy-duty equipment and/or the amount of equipment in use at any one time shall be limited.
 - Construction shall be curtailed during periods of high ambient pollutant concentrations; this may involve ceasing construction activity during the peak hour of vehicular traffic on adjacent roadways or on Spare the Air Days.
 - Stage areas for heavy-duty construction equipment shall be located as far as possible from sensitive receptors.
 - Before construction contracts are issued, the Project Applicants shall perform a review of new technology in consultation with the Bay Area Air Quality Management District (BAAQMD), as it relates to heavy-duty equipment, to determine what (if any) advances in emission reductions are available for use and are economically feasible. Construction contract and bid specifications shall require contractors to utilize the available and economically feasible technology on an established percentage of equipment fleet. It is anticipated that in the near future, both NO_x and PM₁₀ control equipment would be available.
30. **AIR-2- Implementation of Measures to Reduce Fugitive PM10 Dust Emissions.** The Applicant shall implement the following measures to reduce fugitive PM10 dust emissions.

- Hydroseeding shall be used, or nontoxic soil stabilizers shall be applied to inactive construction areas (previous graded areas inactive for ten days or more).
 - Exposed stockpiles (e.g. dirt, sand) shall be enclosed, covered, or watered twice daily, or nontoxic soil binders shall be applied to such stockpiles.
 - Traffic speeds on unpaved roads shall be limited to 15 mph.
 - Sandbags or other erosion control measures shall be installed to prevent runoff of silt to public roadways.
 - Vegetation shall be replanted in disturbed areas as quickly as possible.
 - Wheel washers shall be installed on all existing trucks, or the tires or tracks of all trucks and equipment leaving the site shall be washed off.
 - Windbreaks shall be installed, or trees/vegetative windbreaks shall be planted at windward sides(s) of construction areas.
 - Excavation and grading activity shall be suspended when winds (instantaneous gusts) exceed 25 mph.
 - The area subject to excavation, grading or other construction activity at any one time shall be limited as necessary.
31. **GHG-1 Require Tier-3 Compliant Construction Equipment.** Equipment utilized during grading and construction shall meet Tier 3-standards of emission Control.
32. **BIO-1 Swainson's Hawk Surveys.** If Project activities are schedule during the nesting season for Swainson's hawks (March 1 to September 15), prior to beginning work on the Project, a qualified biologist shall conduct surveys according to the Recommended timing and methodology for Swainson's Hawk Nesting Surveys in California's Central Valley. Surveys shall be conducted: 1) within a minimum 0.5-mile radius of the Project site or a larger area if needed to identify potentially impacted active nests, and 2) for at least two survey periods immediately prior to initiating Project-related construction activities. Surveys shall occur annually for the duration of the Project. If take of Swainson's hawk cannot be avoided, the Project shall consult with the California Department Fish and Wildlife pursuant to the California Endangered Species Act and obtain an Incidental Take Permit.
33. **BIO 2A: Burrowing Owl Habitat Assessment, Surveys and Avoidance.** Prior to Project activities, a habitat assessment shall be performed consistent with CDFW protocol. The habitat assessment shall extend at least 492 feet from the Project site boundary and include burrows and burrow surrogates. If the habitat assessment identifies potentially suitable burrowing owl habitat, then a qualified biologist shall conduct surveys following CDFW survey methodology. Surveys shall encompass the Project site and a sufficient buffer zone to detect owns nearby that may be impacted commensurate with the type of disturbance anticipated, and include burrow surrogates such as culverts, piles of concrete or rubble and other non-natural features, in addition to burrows and mounds. Time lapses between surveys or Project activities shall trigger subsequent surveys, as determined by a qualified biologist, including but not limited to a final survey within 24-hours prior to ground disturbance. The Detected nesting burrowing owls shall be avoided pursuant to the buffer zone prescribed and in any passive relocation plan for non-nesting owls shall be subject to CDFW review.
34. **BIO 2B: Burrowing Owl Habitat Mitigation.** If the Project would impact an unoccupied nesting burrowing owl burrow or burrow surrogate (a burrow known to have been used

in the past three years for nesting), or an occupied burrow (where a non-nesting owl would be evicted as described above), the following habitat mitigation shall be implemented prior to Project construction.

- Impacts to each nesting site shall be mitigated by permanent preservation of two occupied nesting sites with appropriate foraging habitat within Solano County, unless otherwise approved by CDFW, through a conservation easement and implementing and funding a long-term management plan in perpetuity. The same requirements shall apply for impacts to non-nesting evicted owl sites. The Project may implement alternative methods for preserving habitat with written acceptance from DFW.
35. **BIO-3 Nesting Bird Surveys.** If construction, grading or other Project related activities are schedule during the nesting season, February 1 to September 1, a focused survey for active nests shall be conducted by a qualified biologist within seven days prior to the beginning of Project related activities. If an active nest is found the qualified biologist shall delineate a non-work-zone buffer distance around the nest site that is site and species specific using high visibility fencing or flagging. The buffer distance shall be specified to protect the bird's normal behavior and prevent nesting failure or abandonment. No work shall occur within the no-work-zone until the nest is no longer active as determined by a qualified biologist. Fencing or flagging material shall be removed and properly disposed after Project activities are completed or the nest is no longer active, as determined by a qualified biologist. If a lapse in Project related work of seven days or longer occurs, another focused survey shall occur before Project work is reinitiated.
36. **BIO-4 Roosting Bat Surveys** Prior to Project activities a qualified bat biologist shall conduct surveys for pallid bats prior to Project construction. The survey methodology shall include an initial habitat assessment and survey several months before project construction, to facilitate sufficient time to implement the exclusion plan and the types of equipment needed for detection.
- Biologist resumes and survey methodology shall be submitted to CDFW for approval prior to implementing surveys.
 - An exclusion plan shall be submitted to CDFW and the County for approval if bats are detected during the survey. The plan shall 1) recognize that both the maternity and winter roosting seasons are vulnerable times for bats and require exclusion outside of these times, 2) identify suitable areas for excluded bats to disperse or require installation of appropriate dispersal habitat for the bats such as artificial bat houses, and an associated management and monitoring plan with necessary funding, and 3) be implemented prior to Project construction and allow bats to leave the building unharmed.
37. **Vehicle Miles Traveled: Mitigation Measure Traffic-1:** Public wine/distillery tours and tastings associated with the winery/distillery shall be suspended on days Special Events occur. However, wine/distillery tasting, and tours are allowed as part of private special events.

Building and Safety Division

38. **Building Permit Application:** Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted per Section 105 of the California Building Code.
39. The building and any site improvements shall be designed using the 2019 California Building Standards Codes including the mandatory measures found in the 2019 California Green Building Code, Chapters 1, 2, 3, 5, 6, 7, 8, and A5 for Voluntary Measures. The building shall meet all of the requirements for commission a Green Building due to the size exceeding 10,000 square feet. The building shall be designed by a licensed and/or registered architect/engineer who is knowledgeable in the Green Building Codes.
40. **Certificate of Occupancy:** No building shall be used or occupied and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the Building Official has issued a Certificate of Occupancy.
41. **Site Accessibility Requirements:** The site and all facilities shall meet all of the accessibility requirements found in Chapter 11B of the California Building Code. The Designer is required to design for the most restrict requirements between ADA Federal Law and the California Building Code. The Solano County Building Division will be reviewing the plans for the most restrictive requirements of the two. There shall be a complete site plan, drawn to scale reflecting all site accessibility. The site shall be developed in a manner consistent with the state and federal requirements for accessibility for disabled persons, including all parking areas, aisles and paths of travel and structures. The Applicant shall submit accessibility analysis prepared by a Certified Access Specialist (CAS). The analysis must state that the inspected structures and other site features meet both state and federal accessibility requirements or specify what corrections are necessary in order to comply. The permittee shall make any necessary corrections that are necessary to comply. All accessible paths of travel and parking areas shall be a hard-scaped surface as specified by the CAS specialist and shall meet all of the worst-case requirements between Chapter 11 B of the California Building Code and ADA Federal law.
42. **Building Permit Plans:** The Building Permit plans shall include a code analysis as listed below and the design shall be under the current California Codes and all current rules, regulations, laws and ordinances of the local, state and federal requirements. Upon Building Permit submittal, the licensed architect shall provide the following Code Analysis:
- a. Occupancy Classification
 - b. Type of Construction
 - c. Seismic Zone
 - d. Location on Property
 - e. Height of all buildings and structures
 - f. Occupant Load
 - g. Allowable Floor Area
 - h. Height and Number of Stories.

Plans and Specifications shall meet the requirements as per section 105 of the current California Building Code. "Construction documents, statement of special inspections and other data shall be submitted in one or more sets with each permit application. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the Building Official is authorized to require additional construction documents to be prepared by a registered design professional." Electronic media documents are permitted when approved by the Building Official. Construction documents shall be of sufficient clarity to indicate the location, nature, and extent of work proposed, and show in detail that it will conform to the provisions of this code and relevant laws, ordinance, rules and regulations, as determined by the building official."

43. An automatic residential fire sprinkler shall be installed throughout the buildings.

Environmental Health Division

44. **Potable Water Requirements:** The facility shall provide potable water to all structures and facilities from the City of Vallejo Water Division. No water shall be provided from any structures or facilities to employees, guests, or visitors, from any of the onsite water wells or from the Solano Irrigation District raw water supplies. The facility shall undertake any water related infrastructure improvements and comply with any cross-connection permit, or other requirements, required by the City of Vallejo Water District. Activities or events providing bottled water as the sole source of potable onsite water are prohibited.
45. **Sewage Disposal Requirements:** The Applicant shall submit an application, plans, and application fee to install an onsite wastewater treatment system (OWTS) that is adequately sized to handle the anticipated maximum wastewater generation by all structures associated the Special Event facility, as specified under Solano County Code Ch. 6.4.
The facility shall remain in compliance with all operation, maintenance, and reporting requirements of Environmental Health regarding the OWTS system for the duration of the Use Permit.
46. **Process Wastewater Management:** The Applicant shall supply documentation verifying that it has approval from the San Francisco Regional Water Quality Control Board (SF-RWQCB) or from the State Water Resources Control Board (SWRCB) for the method of its management and disposal of its process winery and distillery wastewater. A Wastewater Discharge Requirement (WDR) permit or Notice of Applicability (NOA) for a General Order for winery discharge will satisfy this condition. The facility shall remain in compliance with all process wastewater requirements from the SF-RWQCB or the SWRCB for the duration of the Use Permit.
47. **Pool or Spa Use:** Any existing onsite pools or spas are not approved for public use, including use by employees, visitors, or guests, under this Use Permit. Such use requires a Minor Revision or Amendment to the Use permit, issuance of a recreational health permit by the Environmental Health Division and may incur additional construction requirements from the Building and Environmental Health Divisions.
48. **Hazardous Materials Requirements:** The facility shall comply with all hazardous materials management, storage, handling and reporting requirements. If the facility

handles any hazardous material in quantities equal to or greater than 55 gallons of liquids, 200-cubic feet for gases and/or 500 pounds solids, then the applicant shall create a Hazardous Materials Business Plan (HMBP) and upload the HMBP to the online California Environmental Reporting System (CERS) within 30-days of exceeding the hazardous materials threshold quantities. The HMBP includes requirements for reporting the facility information, hazardous materials inventory, site diagram, emergency response plan, and an employee training plan.

49. **Solid Waste:** The facility shall maintain adequate commercial garbage service onsite to prevent disease, vector attraction, odors and other nuisance factors. A minimum of weekly collection service is required.
50. **Food Service:** The California Retail Food Code requires all food facilities to obtain a food permit from Environmental Health to operate. Accordingly, the Event Center catering kitchen and bar and the Winery/Distillery Building kitchen and associated beverage service areas are considered food facilities and require food permits. Contact the Consumer Protection Program at (707)784-6765 for the plan submittal application and guidelines for construction.

A winery or brewery is exempt from a food facility permit if the wine and/or beer is manufactured onsite, and the facility is owned and operated by the manufacturer. However, this exemption only applies to wine and beer tasting and limits the service of food to crackers, pretzels, and less than 25 square feet of pre-packaged non-potentially hazardous foods. The distillery does not qualify for this exemption and requires a permit to operate from the Solano County Division of Environmental Health.

Public Works Engineering

51. The permittee shall apply for, secure and abide by the conditions of a grading permit for any grading on the property including, but not limited to, building site preparation, access improvements, parking areas and walkways, as well as any onsite grading exceeding a total of 5,000 square feet. In addition, Grading Permits shall be secured for any future grading or drainage improvements on the property. Public Works Engineering will require the submittal of a drainage plan showing all offsite and onsite improvements necessary to manage storm water issues related to this development. Agricultural soil cultivation does not require a grading Permit.

Local, Regional, State and Federal Agencies

52. The Applicant shall obtain all Required Permits from other Agencies. The use of lands and buildings may be subject to additional permits from the County of Solano or other public agencies. Prior to conducting any land use authorized under this Permit, the Applicant shall obtain any other federal, state, or local permits required for construction or operation of the proposed winery/distillery and Special Event facility.
53. The facility shall maintain compliance with the requirements of the Cordelia Fire District, including but not limited to fire suppression and emergency vehicle access.
54. Prior to issuance of an occupancy permit by the Building Official, the Cordelia Fire District will inspect the property to confirm compliance with all fire district requirements.

Permit Term

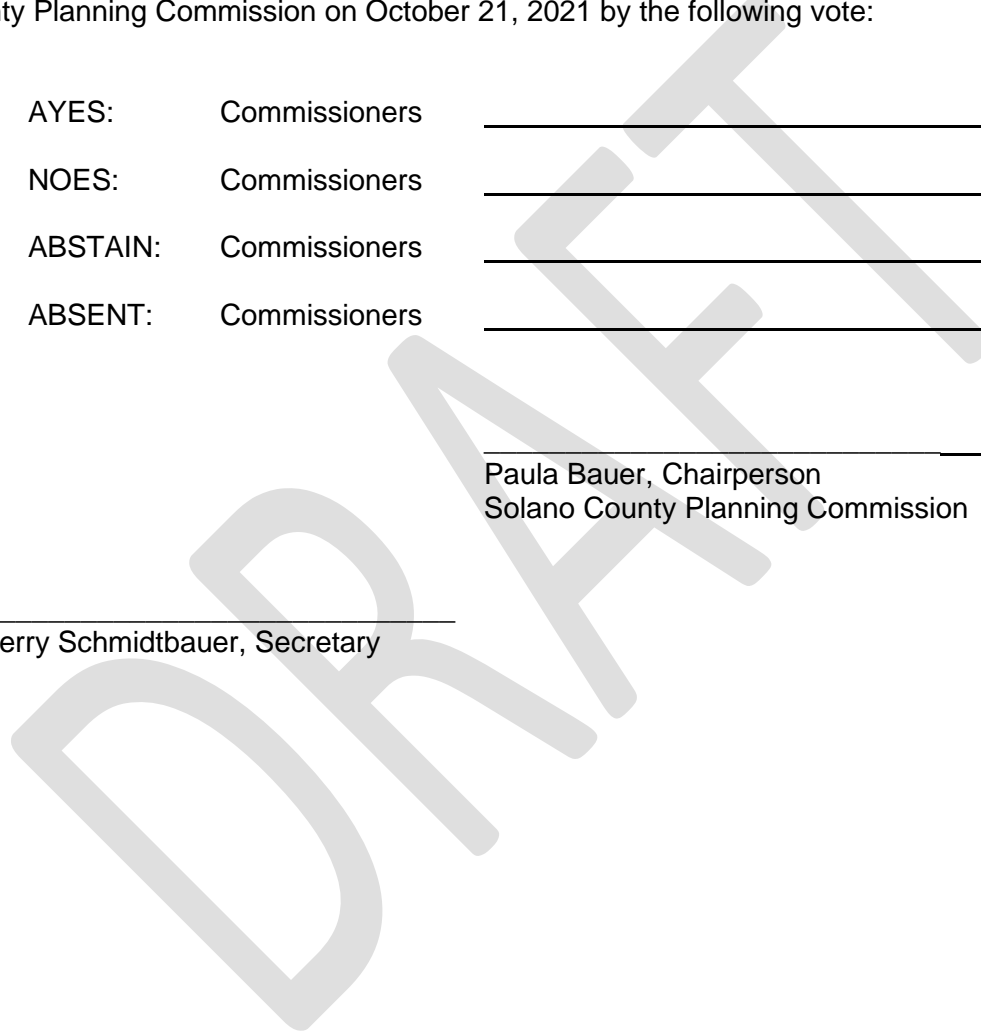
55. The Use Permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date of October 21, 2026 and the uses shall remain the same and in compliance with the Conditions of Approval.

I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Planning Commission on October 21, 2021 by the following vote:

AYES:	Commissioners	_____
NOES:	Commissioners	_____
ABSTAIN:	Commissioners	_____
ABSENT:	Commissioners	_____

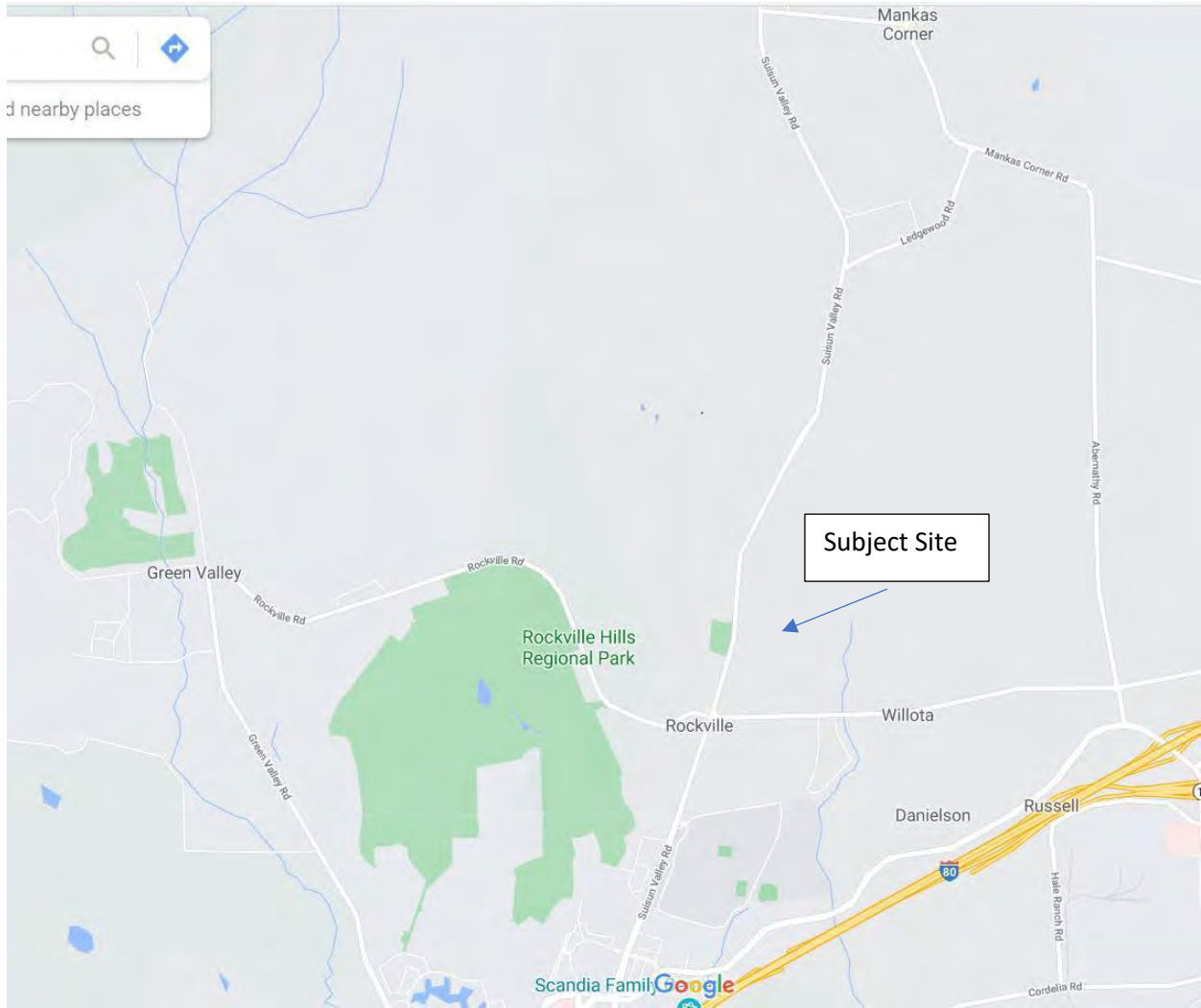
Paula Bauer, Chairperson
Solano County Planning Commission

By: _____
Terry Schmidtbauer, Secretary



Attachment B

Bally Keal Vicinity Map



Attachment C
Aerial Photo Bally Keal



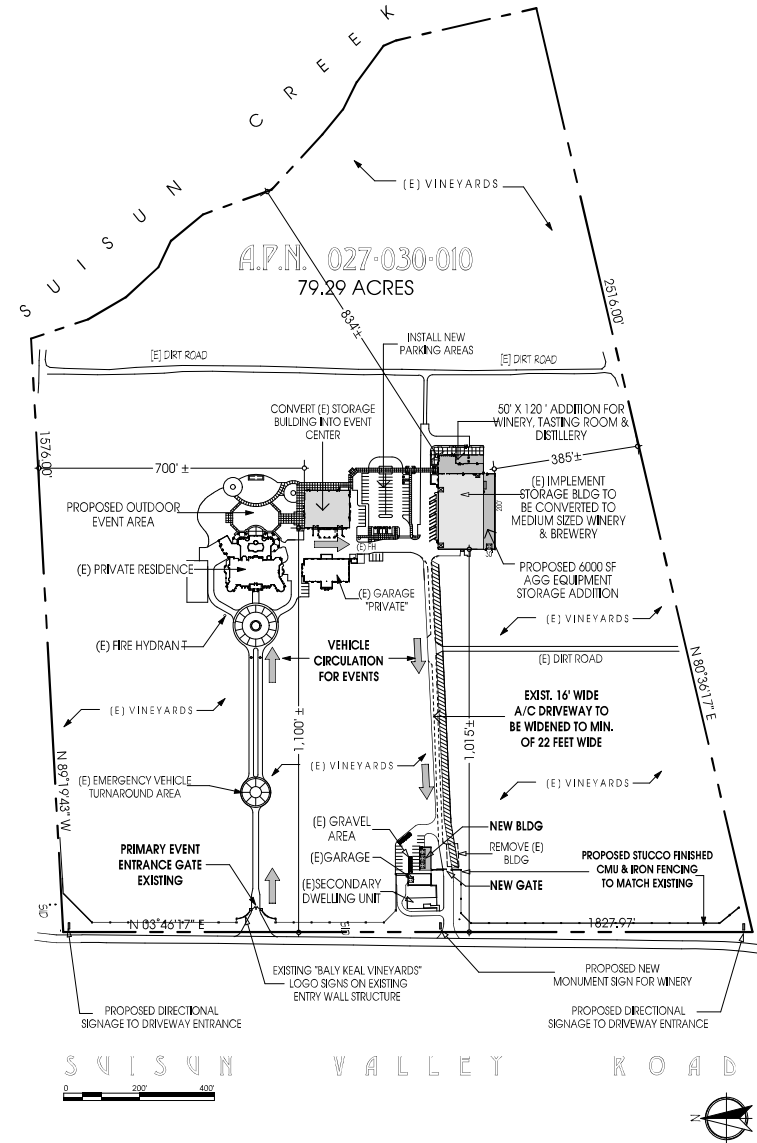


**PROPOSED
SPECIAL EVENTS FACILITY
WINERY & DISTILLERY
BALLY KEAL VINEYARDS**

**4286 SUISUN VALLEY ROAD
FOR: MR. JOE CASSIDY**

**CONVERSION OF EXISTING BUILDING INTO
A SPECIAL EVENTS FACILITY & ADDITION OF A NEW
WINERY & DISTILLERY TO AN EXISTING BUILDING**

**APN 027-030-010
A-SV20 SUISUN VALLEY AGRICULTURAL DISTRICT
WILLIAMSON ACT CONTRACT NO. 116
79.29 ACRES**



OVERALL SITE PLAN
Scale: 1" = 200'



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Revisions
Updates 10.5.21

BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Cover Sheet
Scale: As Shown
October 4, 2021

Sheet Number
AS-1.1
of 9 Sheets

UP-19-08
Set Dated 10.5.21



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Revisions	
1	Updates 10.5.21
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BALLY KEAL WINERY & EVENT CENTER
 FOR: MR. JOE CASSIDY
 4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



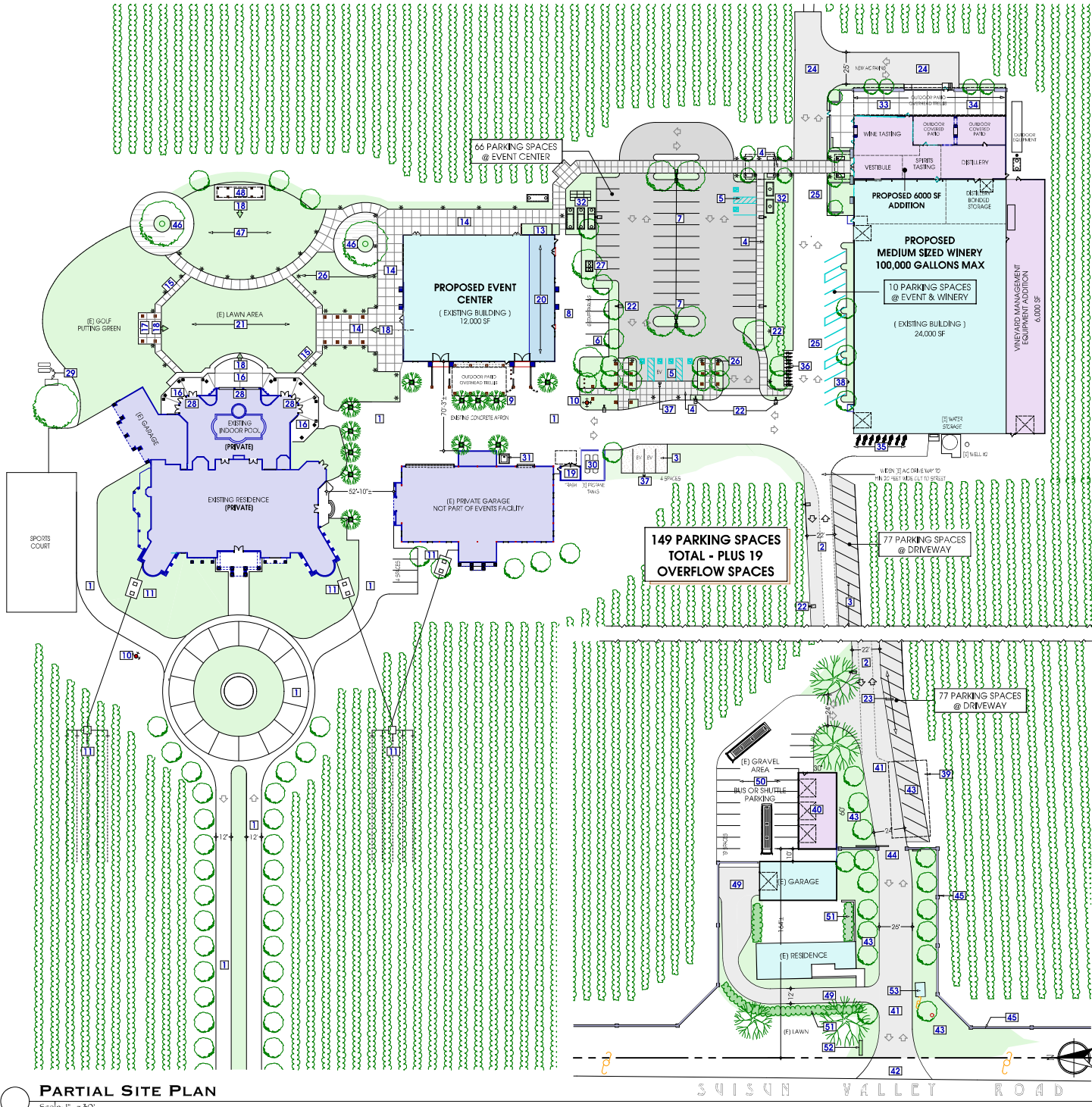
Partial Site Plan
 Scale: As Shown
 October 4, 2021

Sheet Number
AS-1.2
 of 9 Sheets

- SITE PLAN REFERENCE NOTES:**
- INDICATES EXISTING CONCRETE DRIVEWAY -NO WORK PROPOSED
 - INDICATES EXISTING A/C PAVED DRIVEWAY TO BE WIDENED TO A MINIMUM OF 22 FEET WIDE FOR EMERGENCY VEHICLE ACCESS
 - PROPOSED EVENT PARKING ALONG A/C DRIVEWAY -NEW GRAVEL SURFACE PARKING STALLS WILL NOT BE PAINTED -LINE ILLUSTRATE THE REQUIRED SPACE FOR PARKING A VEHICLE 9 FOOT WIDE X 18 FEET DEEP -TYPICAL
 - INDICATES NEW 5 FOOT WIDE CONCRETE ACCESSIBLE WALK FROM PARKING AREA TO BOTH EVENT CENTER & WINERY BUILDINGS
 - INDICATES NEW CONCRETE ACCESSIBLE PARKING STALLS
 - INDICATES NEW CONCRETE PARKING STALLS FOR EVENT STAFF FRIG
 - NEW A/C PAVED PARKING LOT WITH LANDSCAPE ISLANDS - PAINTED PARKING STALLS
 - EXISTING CONCRETE FIRE LANE TO REMAIN
 - EXISTING FIRE DEPARTMENT CONNECTION, BACKFLOW & PIV VALVE FOR EXISTING FIRE SPRINKLER SYSTEM
 - EXISTING FIRE HYDRANT
 - APPROXIMATE LOCATION OF EXISTING SEPTIC TANK & FIELD TO REMAIN
 - EXISTING SEPTIC SYSTEM TO BE ABANDONED PER COUNTY STANDARDS -REFER TO SEPTIC PLANS
 - EXISTING EVENT CENTER HVAC MECHANICAL EQUIPMENT TO REMAIN BEHIND NEW SCREEN WALL
 - NEW PAVED EXTERIOR ON GRADE PATIO -MULTI-USE OUTDOOR AREA
 - NEW MIN 5 FOOT WIDE PAVED ACCESSIBLE EXTERIOR COURSE AROUND FACILITY
 - EXISTING OUTDOOR CONCRETE PATIO WITH TRELLIS STRUCTURE OVER MULTI-USE OUTDOOR AREA
 - NEW PAVED OUTDOOR AREA WITH TRELLIS STRUCTURE OVER MULTI-USE OUTDOOR AREA
 - INDICATES OPTIONAL LOCATION FOR OUT DOOR AMPLIFIED MUSIC/ PERFORMANCE AREA - ARROW INDICATES DIRECTION OF AMPLIFIED SOUND
 - NEW TRASH ENCLOSURE PER COUNTY HEALTH STANDARD REQUIREMENTS FOR COMMERCIAL FOOD FACILITY
 - INDICATES AREA OF PROPOSED COMMERCIAL FOOD FACILITY, REST ROOMS AND EVENT FACILITY STORAGE
 - OUTDOOR LAWN AREA - MULTI USE ARE - TENTS, TABLES, ETC
 - PROPOSED SOLAR POWERED LED DISK TO DAWN PHOTOCELL MOTION DETECTOR CONTROLLED PARKING LOT LIGHT FIXTURE ON 15 FOOT POLE - LIGHT WILL REMAIN OFF UNTIL MOTION DETECTOR FINAL LIGHTING LOCATION & MFG PER FUTURE LANDSCAPE PLANS -PER COUNTY CODE SECTION 28.84(d)
 - INDICATES AN ADDITIONAL 4 FOOT WIDE PARKING SPACES ALONG DRIVEWAY AND VINEYARDS
 - NEW A/C PAVING AREA AT WINE PROCESSING AND DISTILLERY
 - EXISTING A/C DRIVEWAY - WIDENED WHERE OCCURS
 - LOW LED SOLAR DOWNLIGHT PATHWAY LIGHTING -FINAL LIGHTING LOCATION & MFG PER FUTURE LANDSCAPE PLANS -PER COUNTY CODE SECTION 28.84(c)
 - APPROXIMATE LOCATION OF GREASE INTERCEPTOR -PER SEPTIC ENGINEER'S DESIGN
 - INDICATES EXISTING SECURE EXTERIOR DOORS -INSTALL EXTERIOR SIGNAGE INDICATING THAT POOL IS PRIVATE AND NOT FOR USE OF THE EVENT CENTER GUESTS
 - INDICATES EXISTING EMERGENCY BACK UP GENERATOR FOR PRIVATE RESIDENCE WITH 2 - 500 GALLON PROPANE FUEL TANKS
 - INDICATES 2- EXISTING 1000 GALLON PROPANE FUEL TANKS IN CONC BLOCK ENCLOSURE
 - INDICATES EXISTING 840 GALLON DIESEL FUEL TANK WITH SECONDARY CONTAINMENT SYSTEM
 - INDICATES NEW SEPTIC SYSTEM EQUIPMENT -REFER TO SEPTIC PLANS
 - PROPOSED OUTDOOR COURTYARD AREA = 3,224 SQUARE FEET
 - PROPOSED 2,398 SF COVERED OUTDOOR AREA SHADE STRUCTURE - TRELLIS
 - DESIGNATED MOTORCYCLE PARKING AREA
 - DESIGNATED BICYCLE PARKING AREA W/ BICYCLE RACKS
 - INDICATES ELECTRIC VEHICLE CHARGING STATION @ PARKING SPACE
 - FUTURE ELECTRIC VEHICLE CHARGING STATION @ PARKING SPACE
 - EXISTING 1800 SF AGG METAL SHED TO BE REMOVED
 - INDICATES PROPOSED 1800 SF AGRICULTURAL STORAGE BUILDING TO REPLACE EXISTING
 - NEW A/C PAVED DRIVEWAY - ENTRANCE TO WINERY AND EXIT FOR EVENTS
 - EXISTING DRIVEWAY APPROX / APPROACH TO REMAIN IN USE - TO MEET COMMERCIAL DRIVEWAY APPROX REQUIREMENTS
 - INDICATES NEW 22 FOOT WIDE GATE
 - NEW STUCCO FINISHED AND WROUGHTIRON RAILING FENCE TO MATCH EXISTING FENCE ALONG FRONTAGE
 - INDICATES NEW RANDED WOOD DECK AROUND EXISTING WILLOW TREE
 - INDICATES NEW HARDSCAPE WITH ARTIFICIAL TURF FOR OUTDOOR EVENTS AREA
 - 12 X 36 CONCRETE PAD W/ ARBOR TRELLIS OVER PROPOSED PRIVATE RESIDENCE DRIVEWAY TO (E) GARAGE
 - EXISTING GRAVEL PARKING AREA TO BE USED FOR OVERSIZED VEHICLES OR OVERFLOW PARKING - 19 SPACES - CAP TO BE USED FOR BUS PARKING AND OR SHUTTLE BUSES WHEN USED
 - PROPOSED PRIVACY HEDGE TO CREATE PRIVATE SPACE TO EXISTING RESIDENCE
 - PROPOSED MONUMENT SIGN - REFER TO OVERALL SITE PLAN FOR ADDITIONAL SIGNAGE -ACTUAL SIGNAGE PROGRAM TO BE PREPARED BY SIGN COMPANY AND WILL COMPLY WITH COUNTY SIGNAGE CODE
 - INDICATES EXISTING WELL EQUIPMENT SHED

PARKING DATA

EVENT CENTER MAX CAPACITY 400 PEOPLE AT AN EVENT PER COUNTY PARKING CODE SECTION 28.84.B	
1 PARKING STALL PER EVER 4 PEOPLE	100 STALLS REQUIRED
4004 = 100	
WINE & SPIRITS TASTING + RETAIL	11 STALLS REQUIRED
1 PARKING STALL PER 200 SF RETAIL SPACE	
2180 / 200 = 11	
WINERY DISTILLERY - INDUSTRIAL 4 EMPLOYEES REQUIRES 2 SPACES	2 STALLS REQUIRED
AT CAPACITY ALL THREE USES PER COUNTY PARKING STANDARDS 28.84	113 STALLS REQUIRED
168 PARKING STALLS PROVIDED	
EXISTING PRIVATE RESIDENCES -3 ENCLOSED GARAGES W/ 24 SPACES	



PARTIAL SITE PLAN
 Scale: 1" = 30'



Revisions

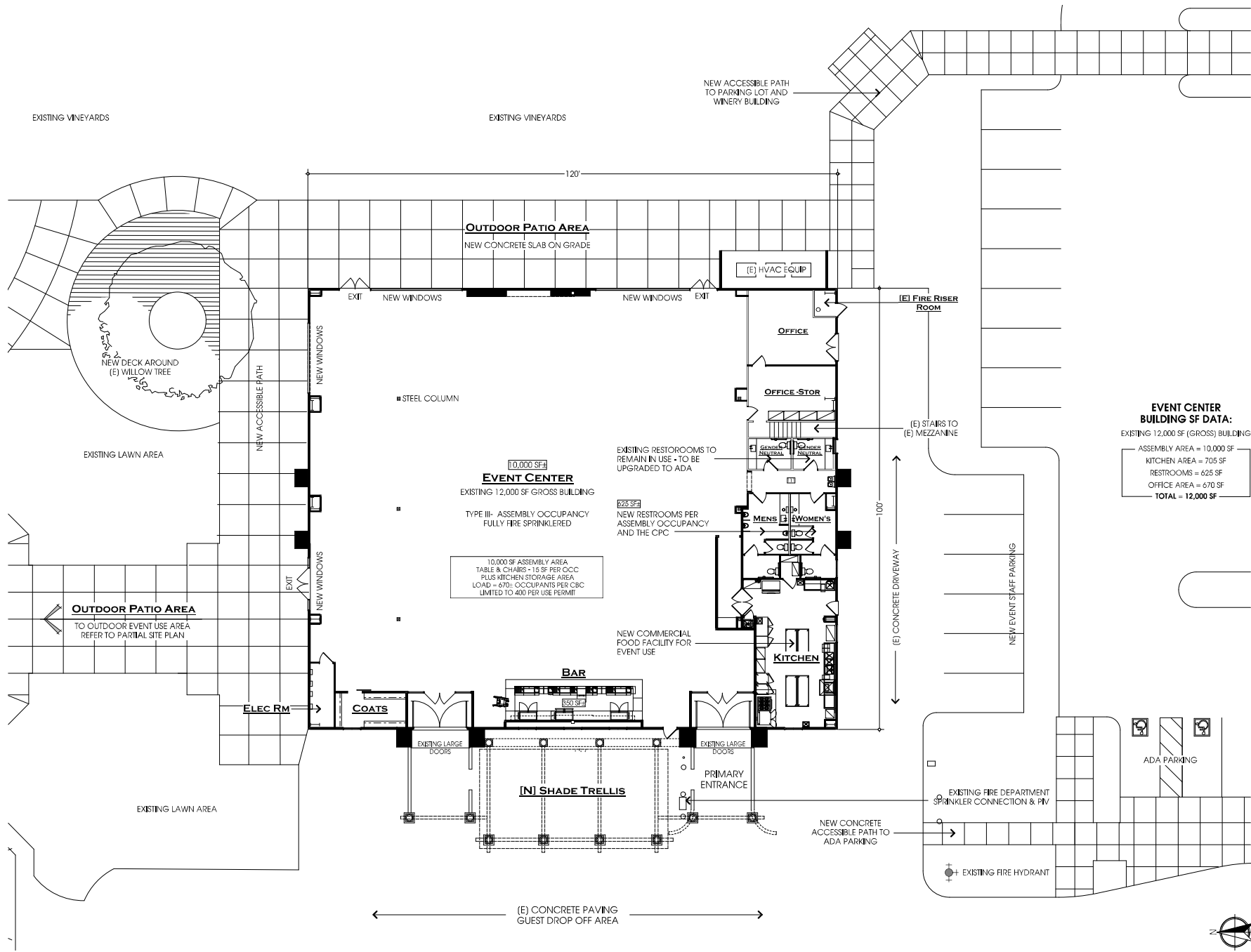
1	Updated 10.5.21

BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Event Center
Floor Plan
Scale: As Shown
October 4, 2021

Sheet Number
A-1.1
of 9 sheets



EVENT CENTER FLOOR PLAN
Scale: 1/8" = 1'-0"



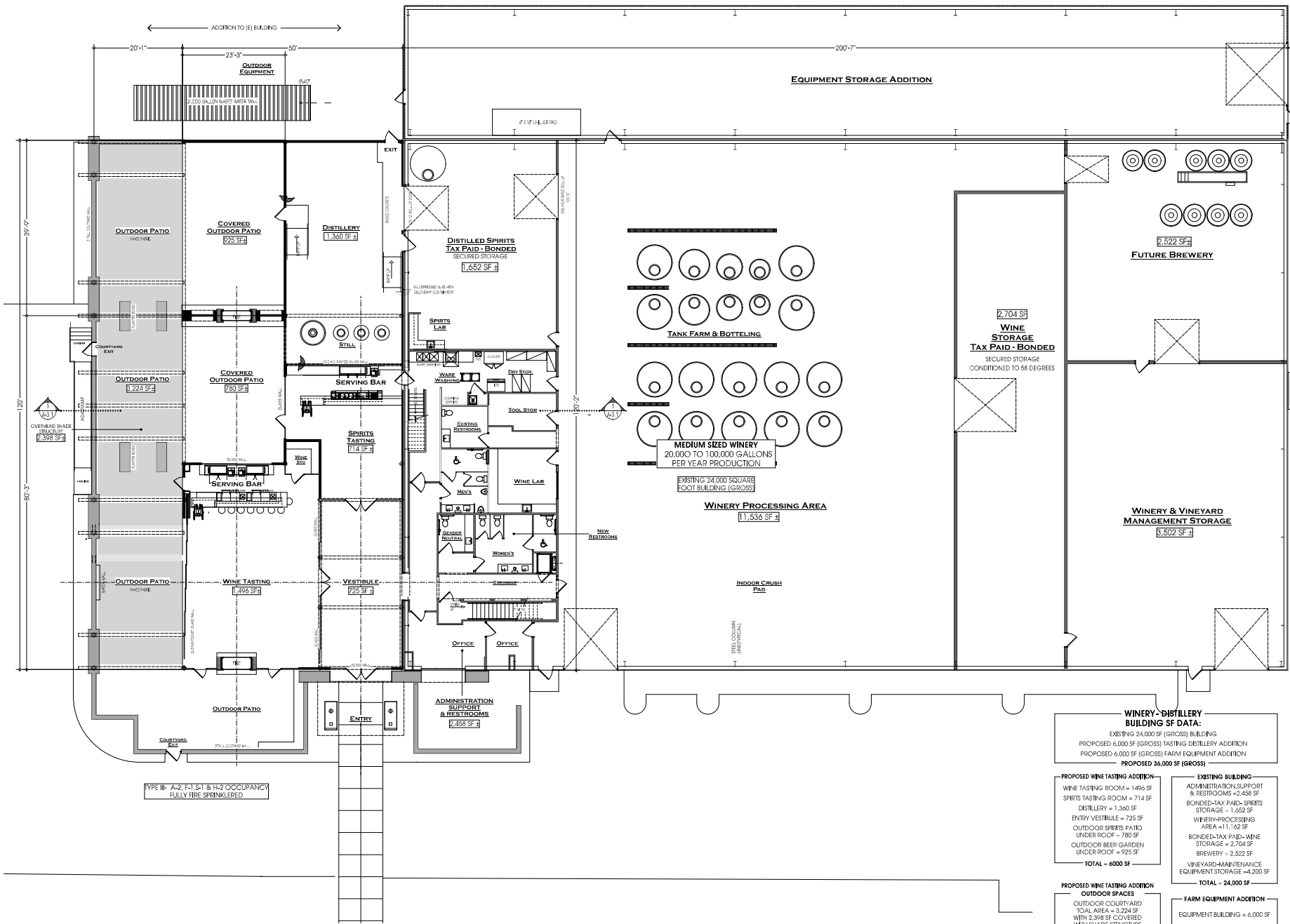
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Revisions

Updated 10.5.21

BALLY KEAL WINERY & EVENT CENTER
 FOR: MR. JOE CASSIDY
 4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



WINERY-DISTILLERY BUILDING SF DATA:

EXISTING 24,000 SF (GROSS) BUILDING
 PROPOSED 6,000 SF (GROSS) TASTING DISTILLERY ADDITION
 PROPOSED 6,000 SF (GROSS) FARM EQUIPMENT ADDITION
PROPOSED 36,000 SF (GROSS)

Area	Area	Total
PROPOSED WINE TASTING ADDITION WINE TASTING ROOM = 1,456 SF SPIRITS TASTING ROOM = 714 SF DISTILLERY = 1,360 SF ENTRY VESTIBULE = 725 SF OUTDOOR SPIRITS PATIO UNDER ROOF = 780 SF OUTDOOR BEER GARDEN UNDER ROOF = 925 SF TOTAL = 6,000 SF	EXISTING BUILDING - ADMINISTRATION, SUPPORT & RESTROOMS = 2,458 SF BONDED-TAX PAID-SPIRITS STORAGE = 1,652 SF WINERY-PROCESSING AREA = 11,625 SF BONDED-TAX PAID-WINE STORAGE = 2,704 SF BREWERY = 2,522 SF VINEYARD-MAINTENANCE EQUIPMENT STORAGE = 4,200 SF TOTAL = 24,000 SF	FARM EQUIPMENT ADDITION EQUIPMENT BUILDING = 6,000 SF TOTAL = 6,000 SF

PROPOSED WINE TASTING ADDITION OUTDOOR SPACES
 OUTDOOR COURTYARD TOTAL AREA = 3,224 SF WITH 2,398 SF COVERED WITH SHADE STRUCTURE
TOTAL = 3,224 SF



Winery Distillery Floor Plan
 Scale: As Noted
 October 4, 2021

Sheet Number
A-1.2
 of 9 Sheets

WINERY DISTILLERY FLOOR PLAN

Scale: 1/8" = 1'-0"





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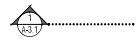
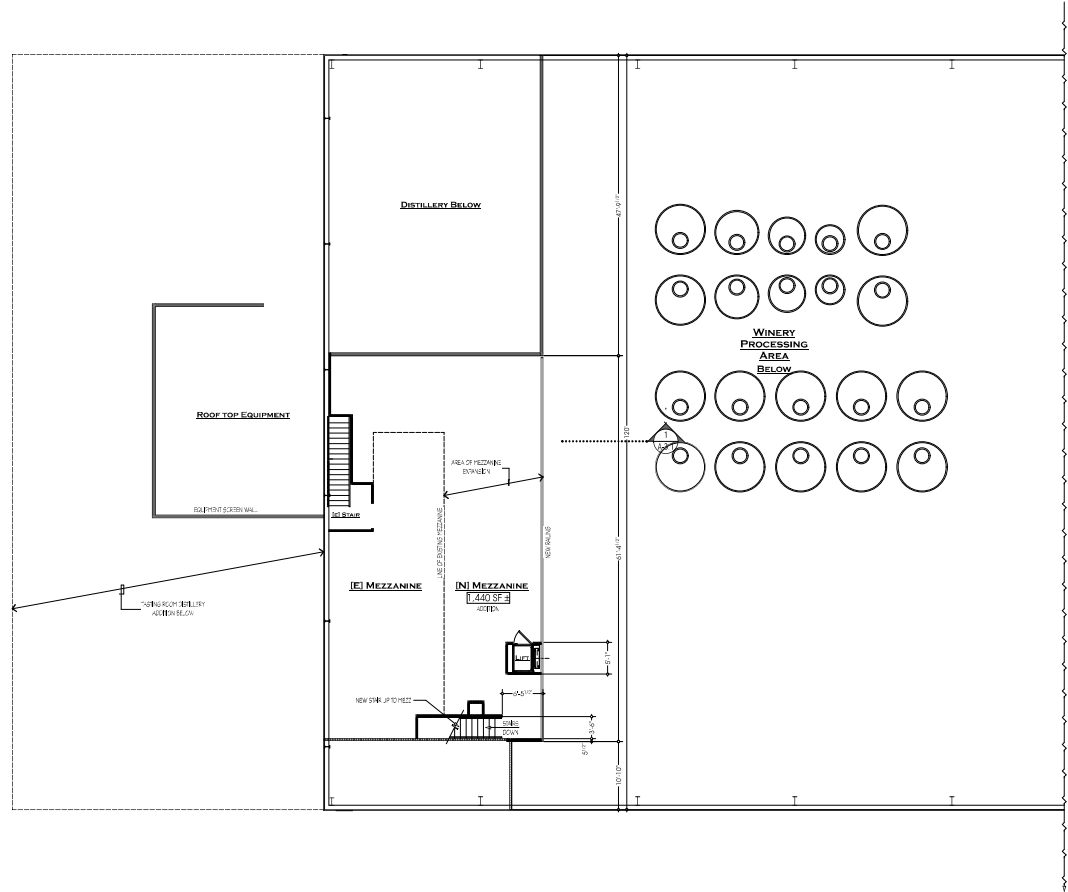
Revisions	
1	Updates 10.5.21

BALLY KEAL WINERY & EVENT CENTER
 FOR: MR. JOE CASSIDY
 4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Mezzanine
Plan
Scale: As Noted
October 4, 2021

Sheet Number
A-1.3
of 9 Sheets



MEZZANINE FLOOR PLAN
 Scale: 1/8" = 1'-0"



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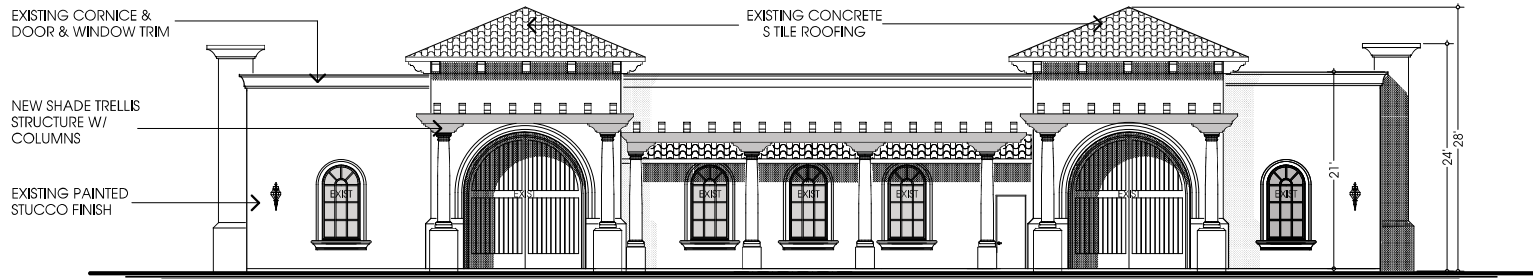
Revisions	
1	Updates 10.5.21

BALLY KEAL WINERY & EVENT CENTER
 FOR: MR. JOE CASSIDY
 4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA

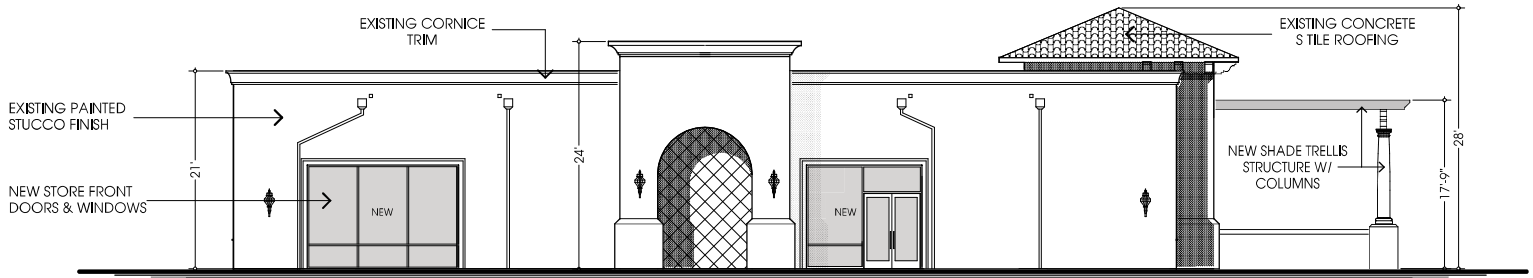


Event Center
 Exterior
 Elevations
 Scale: As Noted
 October 4, 2021

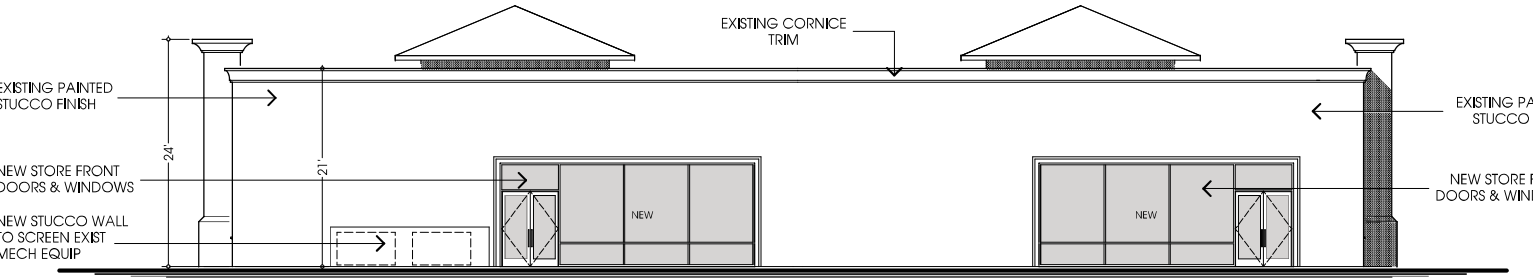
Sheet Number
A-2.1
 of 9 sheets



1
 A-2.1
 FRONT EXT. ELEVATION (WEST)
 SCALE: 3/16"=1'-0"



2
 A-2.1
 LEFT EXT. ELEVATION (NORTH)
 SCALE: 3/16"=1'-0"



3
 A-2.1
 REAR EXT. ELEVATION (EAST)
 SCALE: 3/16"=1'-0"



4
 A-2.1
 RIGHT EXT. ELEVATION (SOUTH)
 SCALE: 3/16"=1'-0"



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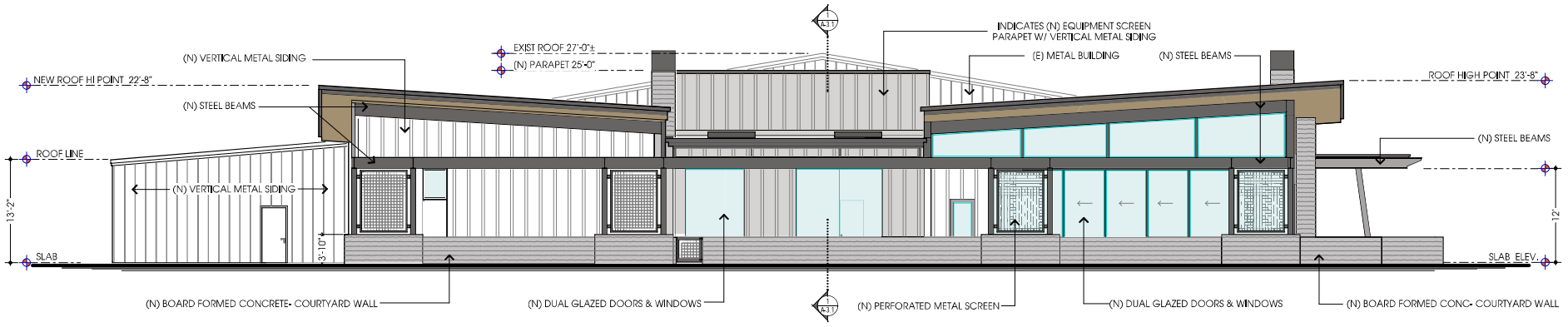
Revisions
Updates 10,5,21

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FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA

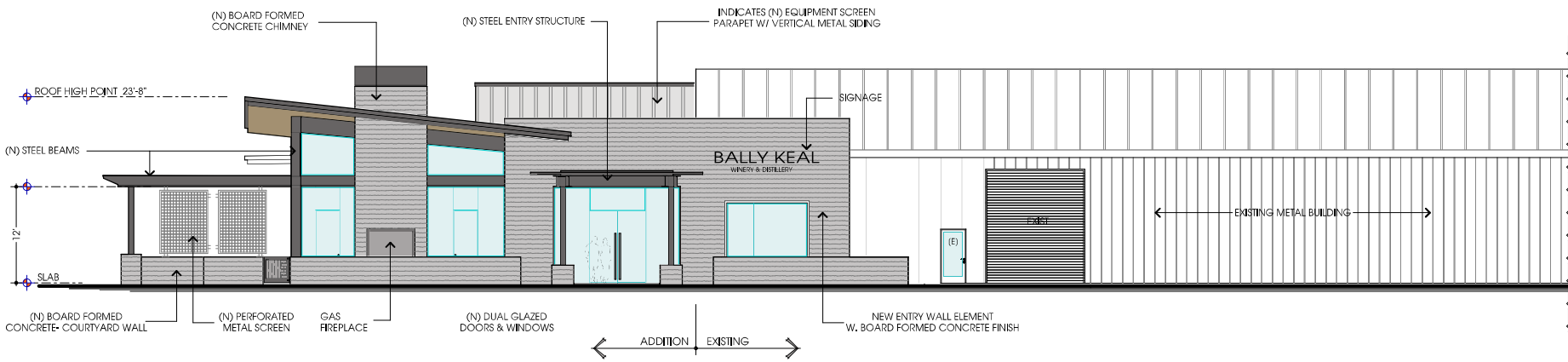


Winery
Exterior
Elevations
Scale: As Noted
October 4, 2021

Sheet Number
A-2.2
of 9 sheets



1
A-2.2
WINERY & TASTING BUILDING - EAST EXTERIOR ELEVATION
Scale: 3/8" = 1'-0"



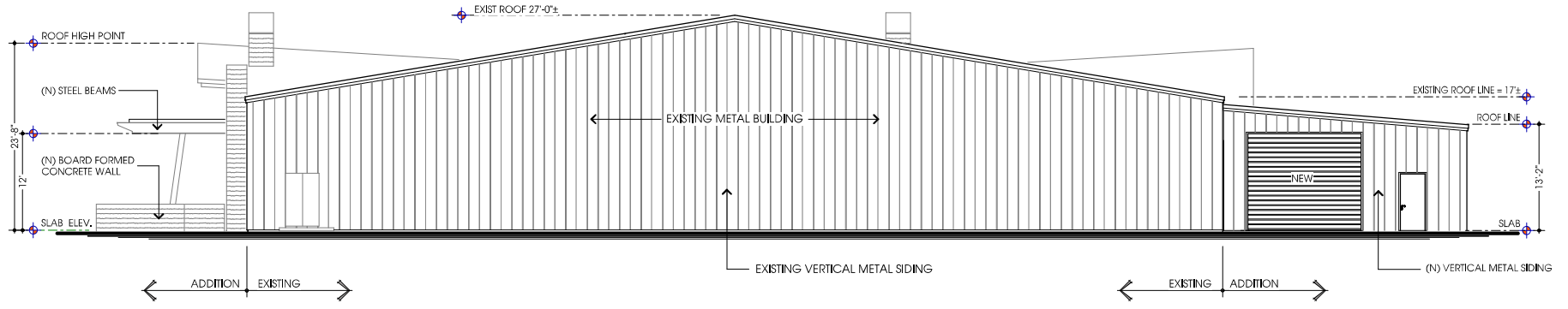
2
A-2.2
WINERY & TASTING BUILDING - NORTH EXTERIOR ELEVATION
Scale: 3/8" = 1'-0"



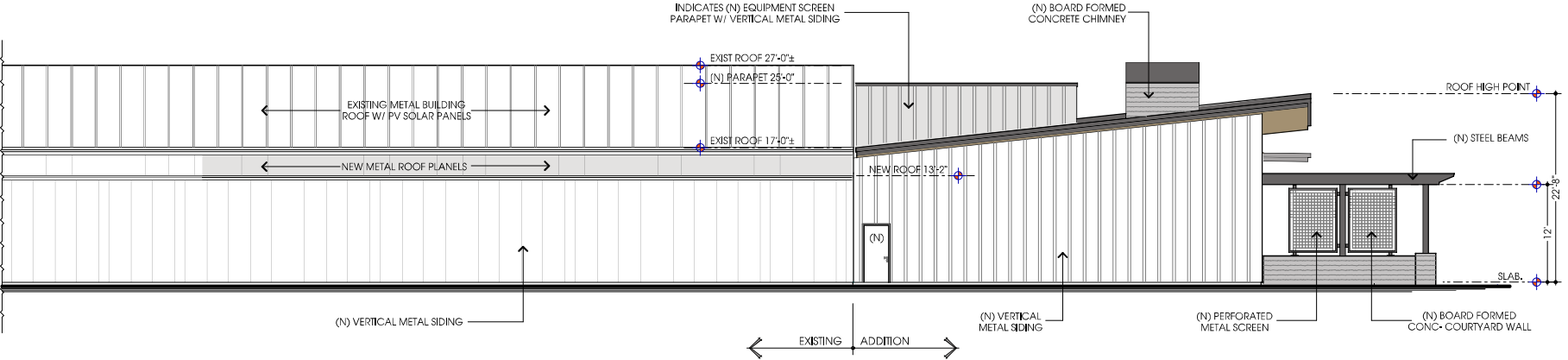
Paul D. Francis
Architect

4171 Suisun Valley Road
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www.PDFDesign.com

Revisions
Updates 10.5.21



1
A-2.3
WINERY & TASTING BUILDING - WEST EXTERIOR ELEVATION
Scale: 1/8" = 1'-0"



2
A-2.3
WINERY & TASTING BLDG - SOUTH EXTERIOR ELEVATION
Scale: 1/8" = 1'-0"

BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Winery
Exterior
Elevations
Scale: As Noted
October 4, 2021

Sheet Number
A-2.3
of 9 Sheets

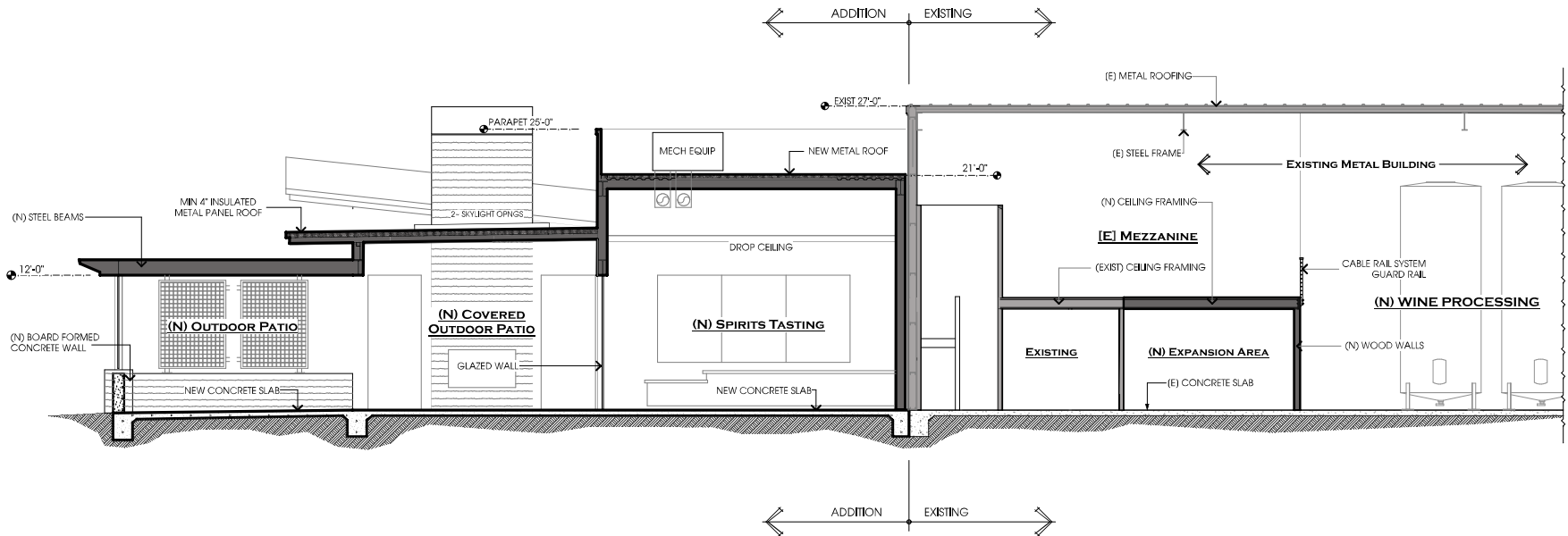


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Design, Inc.

Paul D. Friend
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Revisions	
1	Updates 10,5,21



1
A-3.1
TYPICAL BUILDING SECTION @ WINE & SPIRITS ADDITION
SCALE: 1/4" = 1'-0"

BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Building
Section
Scale: As Noted
October 4, 2021

Sheet Number
A-3.1
of 9 sheets

Bally Keal Vineyards, LLC
Use Permit application U-19-08
Initial Study and
Mitigated Negative Declaration



July 2021

CEQA Lead Agency:

County of Solano

Prepared by:

Department of Resource Management

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CHAPTER 1 - PART II OF INITIAL STUDY OF ENVIRONMENTAL IMPACTS

1.1 INTRODUCTION

The following analysis is provided by the Solano County Department of Resource Management as a review of and supplement to the applicant's completed "Part I of Initial Study". These two documents, Part I and II, comprise the Initial Study prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines, Section 15063.

Project Title:	Bally Keal Vineyards LLC
Application Number:	Use Permit U-19-08
Project Location:	4286 Suisun Valley Road Fairfield, CA 94534
Assessor Parcel No.(s):	0027-030-010
Project Sponsor's Name and Address:	Bally Keal Vineyards, LLC c/o Joe Cassidy 160 South Linden Avenue South San Francisco, CA 94080

General Information

This mitigated negative declaration (MND) has been prepared by the County of Solano, as lead agency, pursuant to the California Environmental Quality Act (CEQA) (Pub. Resources Code, § 21000 et seq.), to analyze and disclose the environmental effects associated with project. This document discusses the proposed project, the environmental setting for the proposed project, and the potential for impacts on the environment from the proposed project and any measures incorporated which will minimize, avoid and/or provide mitigation measures for the impacts of the proposed project on the environment.

- Please review this Initial Study. You may order additional copies of this document from the Solano County Department of Resource Management Planning Services Division at 675 Texas Street, Fairfield, CA, 94533.
- We welcome your comments. If you have any comments regarding the proposed project please send your written comments to this Department by the deadline listed below.
- Submit comments via postal mail to:
Department of Resource Management
Planning Services Division
Attn: Eric Wilberg, Planner Associate
675 Texas Street
Fairfield, CA 94533
- Submit comments via fax to: (707) 784-4805

- Submit comments via email to: ejwilberg@solanocounty.com
- Submit comments by the deadline of: 5:00 pm on Friday, August 6, 2021

Next Steps

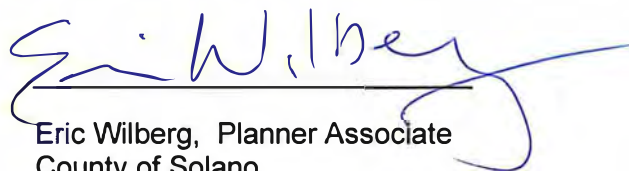
After comments are received from the public and any reviewing agencies, the Department may recommend that the environmental review is adequate and that a Negative Declaration be adopted or that the environmental review is not adequate and that further environmental review is required.

1.2 ENVIRONMENTAL DETERMINATION

On the basis of this Initial Study the Solano County Department of Resource Management finds:

- The proposed project could not have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- That although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the project proponent has agreed to revise the project to avoid any significant effect. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project could have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT (EIR) is required.
- The proposed project could have a significant effect on the environment, but at least one effect has been (1) adequately analyzed in a previous document pursuant to applicable legal standards, and (2) addressed by mitigation measures based on the previous analysis as described in the attached initial study. An EIR is required that analyzes only the effects that were not adequately addressed in a previous document.
- That although the proposed project could have a significant effect on the environment, no further environmental analysis is required because all potentially significant effects have been (1) adequately analyzed in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (2) avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are included in the project, and further analysis is not required.

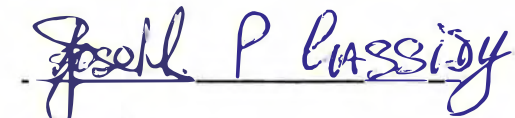
6-30-21
Date


Eric Wilberg, Planner Associate
County of Solano
Department of Resource Management

INCORPORATION OF MITIGATION MEASURES INTO THE PROPOSED PROJECT

By signature of this document, the project proponent amends the project description to include the mitigation measures as set forth in Section 2.

6/25/2021
Date


Joseph P. Cassidy
Bally Keal Vineyards LLC

1.3 ENVIRONMENTAL SETTING:

The subject site is located at 4286 Suisun Valley Road, one-mile northwest of the City of Fairfield. The property is situated within an agricultural setting identified as the Suisun Valley Agricultural Region by the Solano County General Plan. Surrounding land is utilized for agricultural production, predominantly vineyard cultivation. The site borders agricultural land to the north and south, Suisun Creek to the east, and Suisun Valley Road to the west. Rockville Cemetery is located west of the subject site; Rockville Corner, a commercial area is ½ mile south; and Willotta Oaks a residential neighborhood of approximately 75 single family homes is located ½ mile to the southwest.

The 79.29-acre property is relatively flat, exhibiting slopes of less than six percent. The parcel is developed with a 22,000 square foot Primary Dwelling, an 8,000 square foot detached garage, and two accessory structures of 24,000 sq. ft. and 12,000 sq. ft. This development is clustered near the center of the property. The parcel is also developed with a 1,600 square foot Secondary Dwelling and two 1,800 square foot accessory structures near the western lot line.

63-acres of the property are cultivated with vineyards.

Figure 1: Vicinity Map

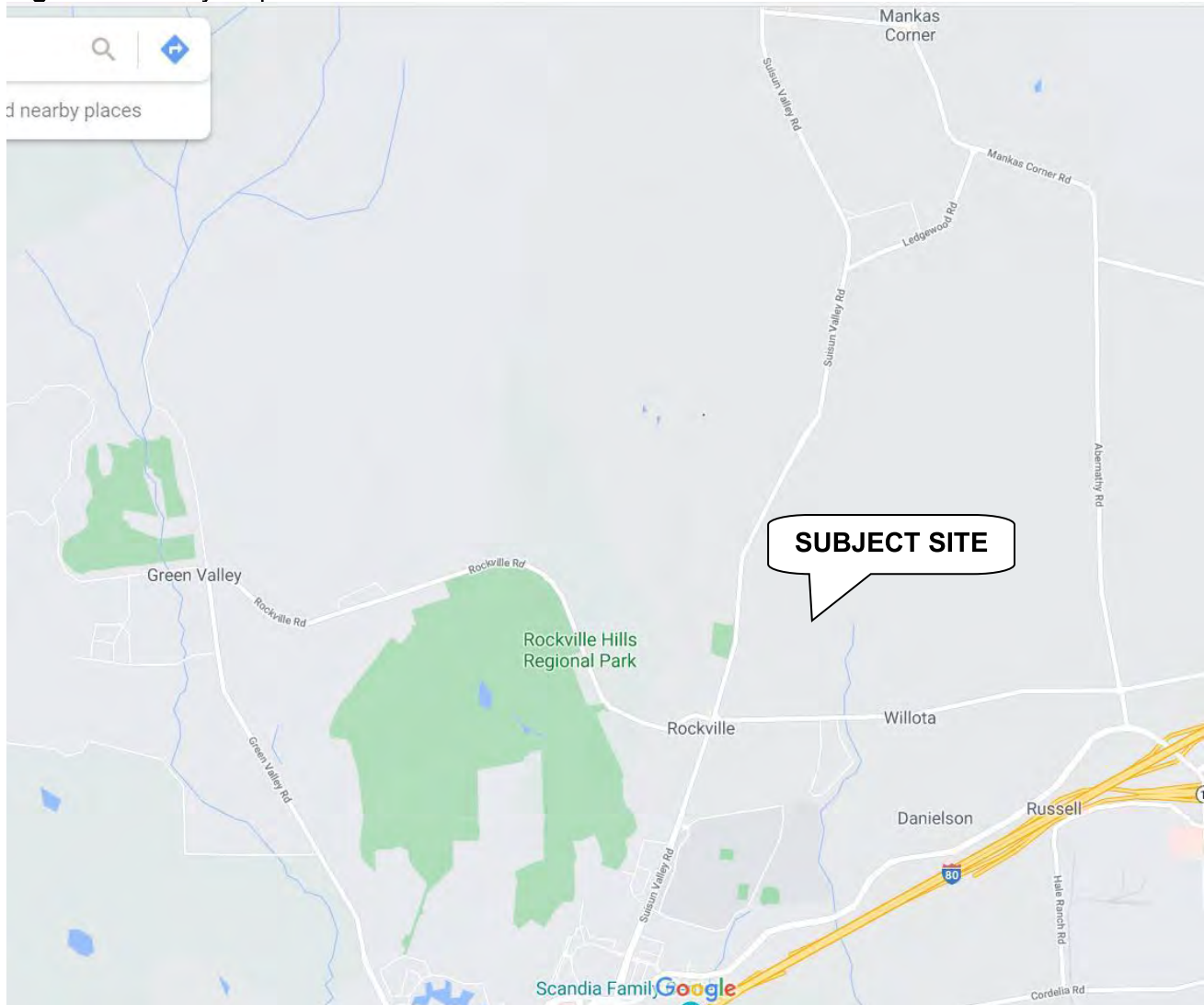


Figure 2: Assessor's Parcel Map

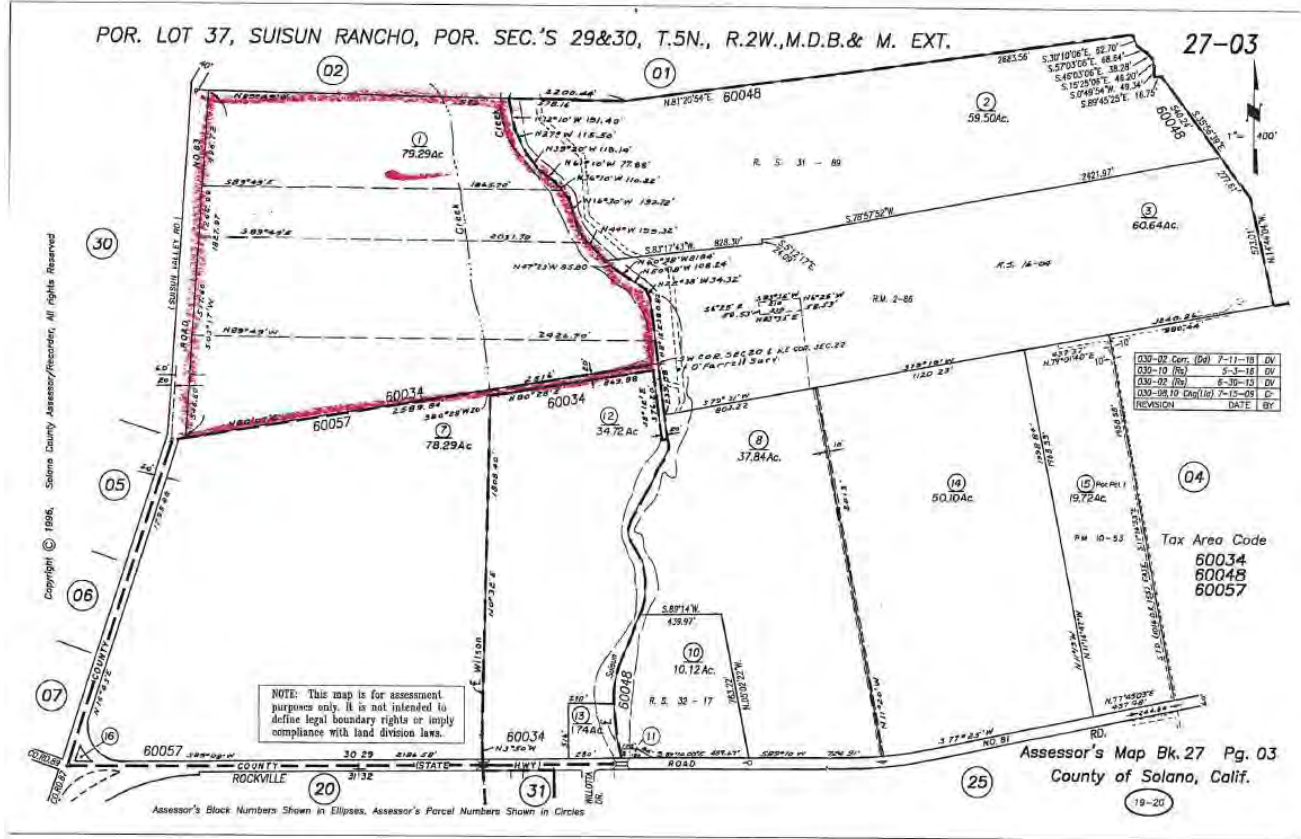


Figure 3: Aerial Photo Project Site – March 2019



1.4 PROJECT DESCRIPTION:

The project involves the construction of a 5,000 square foot expansion of an existing 24,000 sq. ft. accessory building to facilitate development of a winery and distillery with two public tasting rooms. The expansion will accommodate a wine tasting room, a distillery, spirits tasting room, and covered outdoor patio. The wine tasting room will be 1,468 square feet in size. It also includes a 1,700 square foot outdoor patio with an 800 square foot shade structure. 1,096 square feet of the addition will feature a distillery, with an addition 722 square feet devoted to spirits tasting. A 752 square foot outdoor covered patio will support the spirits tasting, 732 square feet will be for tax paid and bonded spirits storage and the remaining 476 square feet for mechanical equipment. With an additional 1,454 square foot tax paid and bonded spirits storage located within the existing 24,000 square foot building.

The wine processing facility includes the conversion of 11,700 square feet of the existing building; 2,276 square feet of administrative offices, restrooms, and support spaces; 5,000 square feet of refrigerated tax paid wine storage, with the remaining 4,200 square feet to be used for winery and vineyard management storage.

The project proponent anticipates average visitation of approximately 60 weekday visitors and 100 weekend visitors. The tasting room hours would be daily, from 11 a.m. until 5 p.m. Up to five full-time employees will work at the property.

Total annual production would consist of a maximum of 90,000 gallons, with wine comprising most of the production. Therefore, the winery component of the project is classified as a medium winery under Solano County Zoning Regulations having a production capacity of less than 100,000 gallons annually. Approximately 26,000 gallons of wine would originate from the project site. Grape on-haul for the remaining 64,000 gallons would be approximately 600 tons. Within the 90,000-gallon production total, the facility would also produce a smaller amount of distilled grape-grain beverage, such as Brandy, Grappa, and Eau de vie. Other distilled spirits may include: Rum, Tequila, Japanese style Whiskey, Irish Whiskey, Moutai, and Gin. If demand is adequate, production of this beverage is expected to be approximately 5,000 gallons. Combined wine and distilled beverage production would remain 90,000 gallons or less annually.

The project would also convert an existing 12,000 square foot storage building to a special events facility. The primary purpose of the facility will be to host weddings, corporate, and charity events, or similar special events. Events would also occur outdoors adjacent to the event building. As shown on the development plans, the facility will have a "bar" space, but it will not be an owner-licensed bar. Instead, it will be available for use during special events for a licensed beverage caterer. 45 events annually are expected. 10 events will have up to 100 people, 25 events will have up to 200 people, and 10 events will have up to 400 people. Most events are expected to occur between Thursday and Sunday, but events could take place any day of the week. Events are anticipated to last from noon until midnight.

The wine and spirits tasting rooms and outdoor spaces will be available for use as part of a special event, and if not would remain open to the public, including if special events were taking place in the special events facility. Typical hours of operation for the tasting rooms will be 11:00 a.m. to 5:00 p.m. Hours of operation for the winery/distillery will typically be from 8:00 a.m. to 5:00 p.m. There would be a minimum of three employees on-site, up to five employees to run the tasting rooms and the winery/distillery.

The project proposes a total of 128 special event parking spaces that will be located in a new asphaltic concrete parking lot between the buildings and along the existing southern driveway and

vineyard. All parking spaces in the new parking lot will be striped. The remaining spaces along the edge of the vineyard/driveway will not be paved or striped. Section 28.94 of the Solano County Zoning Regulations requires one parking space per four seats of public assembly, or one space for every four people at capacity. The maximum event size is 400 seats/people, resulting in 100 required spaces. Therefore, 128 parking spaces adequately meet the minimum parking space requirements.

Events will be open to invitees only. The outdoor lawn area is proposed to host weddings and other tented events. Live music is proposed, both DJs and live bands. Temporary speakers will be brought in for each event. Amplified music will be directed towards the existing primary dwelling and event center. The project will implement downlighting recommendations and only provide the amount of light intensity necessary to illuminate the event as it takes place and will not over saturate the site.

The project does not involve any overnight stays at the private residence.

It is anticipated that construction associated with the expansion and renovation would be completed within three years after use permit authorization.

Access/Circulation

The subject property has frontage along Suisun Valley Road between Rockville and Mankas Corner Roads. In this area, Suisun Valley Road is a rural two-lane roadway with unimproved shoulders and no sidewalk or bicycle lane. Two access driveways serve the project site. The northern driveway provides access to the main home, winery, event center, and main parking lot. The southern driveway provides access to the secondary residence. This access will be improved and widened to 22 feet for emergency vehicles and as second means of access to the parking lot, winery, and event center. For large events, guests will enter from the north driveway and exit via the south driveway. This one-way traffic pattern will avoid queuing on Suisun Valley Road and will provide additional onsite parking that will meet the estimated parking demand in the traffic impact analysis study.

Parking

Multiple parking areas for event guests, staff, and visitors are proposed on-site. The primary parking area will be developed between the proposed event center and winery/distillery building. This area includes landscaping and will accommodate up to 73 parking spaces and is intended to serve the special events component of the project. An additional 60 parking spaces are proposed along the southern driveway leading from the project out to Suisun Valley Road. 10 parking spaces are proposed adjacent to the winery building. Four additional spaces are proposed near the event center building. In total, 147 parking spaces will be provided on-site to accommodate both the special events facility and winery/distillery.

Domestic Water Supply

The City of Vallejo provides domestic water service to the site. The property has an existing 1.5" meter and backflow prevention device. It is not clear at this time if this service size can accommodate the additional supply requirements of a new public facility and distillery. Based on correspondence from the City of Vallejo (Appendix B) it is very likely a new water service will be required to accommodate the converted facilities and their intended uses.

The property is also developed with two domestic potable water wells.

Irrigation Water & Fire Suppression

The Suisun-Solano Water Authority supplies water for irrigation and fire suppression. Existing buildings constructed after 2008 have fire sprinkler systems that are served by an 8" water line that also supplies the existing standpipes and the two existing hydrants.

Stormwater

The project site currently has approximately 175,650 square feet of impervious area. The proposed project would increase the total impervious area by approximately 56,010 square feet due to addition of a parking lot, the addition for tasting rooms and a future 5,000 square foot addition to the proposed winery building. The parking lot will be sloped toward the southeast allowing stormwater to runoff into the vineyards. Therefore, a storm water detention pond is not proposed as the impervious area is located in the center on the site that is surrounded by vineyards.

Wastewater

A permit has been submitted to remove the existing grease interceptor and the two existing 1,800-gallon septic tanks onsite and install a new updated waste collection and treatment system.

Signage

Proposed signage includes one sign at each driveway and a third sign to identify the Bally Keal Vineyard. Sign permitting will be required which conforms to requirements set forth in Section 28.96 of the County Zoning Regulations.

Figure 4: Site Plan



Figure 5: Detail Site Plan

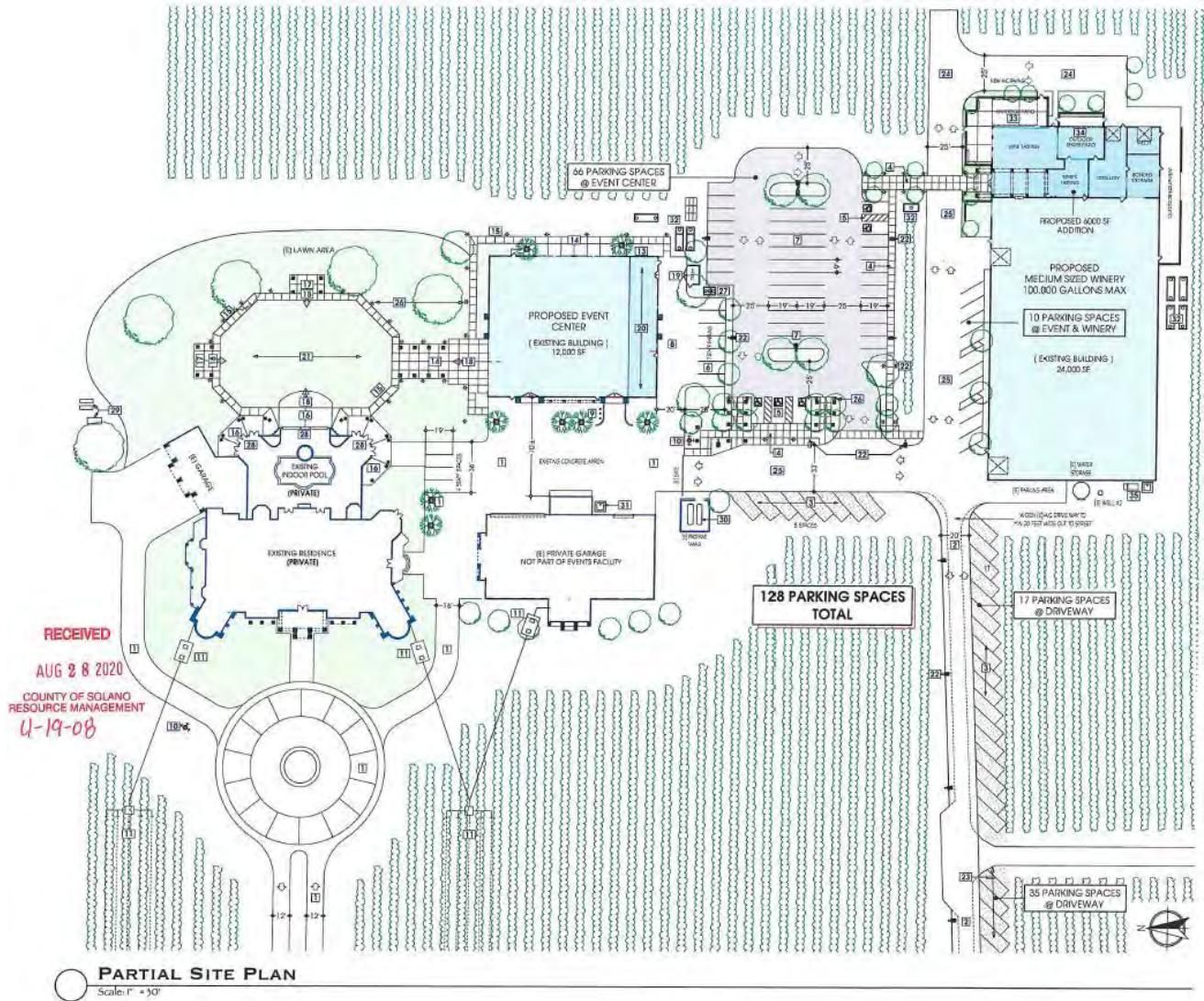


Figure 6: View East along existing driveway toward Proposed Winery



Figure 7: View South toward Proposed Winery Addition



Figure 8: View Southeast toward Proposed Special Event Facility



Figure 9: View South toward Proposed Special Event Facility, Outdoor Event Area



1.5 ADDITIONAL DATA

NRCS Soil Classification:	Brentwood clay loam, 0 to 2 percent slopes. Class I
Agricultural Preserve Status/Contract No.:	Williamson Act Contract No. 116, active
Non-renewal Filed (date):	Not Applicable
Airport Land Use Referral Area:	Not Applicable
Alquist Priolo Special Study Zone:	Not Applicable
Primary or Secondary Management Area of the Suisun Marsh	Not Applicable
Primary or Secondary Zone identified in the Delta Protection Act of 1992:	Not Applicable

Surrounding General Plan, Zoning and Land Uses

	General Plan	Zoning	Land Use
Property	Agriculture	Suisun Valley Agriculture "ASV-20"	Agriculture, residential
North	Agriculture	Suisun Valley Agriculture "ASV-20"	Agriculture (vineyard)
South	Agriculture	Suisun Valley Agriculture "ASV-20"	Agriculture (field crops)
East	Agriculture	Suisun Valley Agriculture "ASV-20"	Agriculture (orchard)
West	Agriculture	Suisun Valley Agriculture "ASV-20"	Cemetery

1.6 LAND USE CONSISTENCY ANALYSIS

General Plan & Zoning

The subject site is designated Agriculture by the Solano County General Plan. Table LU-5 of the General Plan provides a description and intent of the Agricultural designation:

The (Agricultural Designation) provides areas for the practice of agriculture as the primary use, including areas that contribute significantly to the local agricultural economy, and allows for secondary uses that support the economic viability of agriculture. Agricultural land use designations protect these areas from intrusion by nonagricultural uses and other uses that do not directly support the economic viability of agriculture.

Further the General Plan identifies ten Agricultural Regions throughout the County, the subject site being located within the Suisun Valley Agricultural Region. Table AG-3 of the General Plan highlights the unique characteristics of each region and summarizes desired land uses.

The (Suisun Valley) provides for agricultural production, agricultural processing facilities, facilities to support the sale of produce, and tourist services that are ancillary to agricultural production.

The subject site is zoned Suisun Valley Agriculture “A-SV-20” consistent with the General Plan designation. Section 28.23 of the County Zoning Ordinance provides a table of allowed uses and permit requirements applicable to this zoning district. As seen on Table 28.23A, crop production, residential development, Winery, and Special Events facility are allowed or conditionally allowed land uses within the A-SV-20 Zoning District. The Project requires issuances of a Use Permit per Solano County Zoning Regulations.

1.7 RESPONSIBLE, TRUSTEE, & AGENCIES THAT MAY HAVE JURISDICTION

Agencies that May Have Jurisdiction over the Project

- Bay Area Air Quality Management District
- California Department of Fish and Wildlife
- City of Vallejo
- Cordelia Fire Protection District
- Fairfield – Suisun Unified School District
- San Francisco Regional Quality Control Board
- Solano Irrigation District
- U.S. Army Corps. Of Engineers: Sacramento District
- U.S. Fish & Wildlife Service

CHAPTER 2 - ENVIRONMENTAL CHECKLIST

This chapter discusses the potential for adverse impacts on the environment. Where the potential for adverse impacts exist, the report discusses the affected environment, the level of potential impact on the affected environment and methods to avoid, minimize or mitigate for potential impacts to the affected environment.

Findings of **SIGNIFICANT IMPACT**

Based on the Initial Study, Part I as well as additional application materials reviewed by the Department of Resource Management, the project does not have the potential for significant impacts to any environmental resources.

Findings of **LESS THAN SIGNIFICANT IMPACT WITH MITIGATION MEASURES**

Based on the Initial Study, Part I as well as the review of the proposed project by the Department of Resource Management, the project requires mitigation measures to reduce potential impacts to less than significant levels.

- | | |
|---|---|
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Transportation and Traffic |

Findings of **LESS THAN SIGNIFICANT IMPACT**

Based on the Initial Study, Part I as well as the review of the proposed project by the Department of Resource Management, the following environmental resources were considered and the potential for impact is considered to be less than significant. A detailed discussion of the potential adverse effects on environmental resources is provided below:

- | | |
|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Geology and Soils | <input type="checkbox"/> Utilities and Service Systems |
| <input type="checkbox"/> Hazards and Hazardous Materials | <input type="checkbox"/> Mandatory Findings of Significance |

Findings of **NO IMPACT**

Based on the Initial Study, Part I as well as the review of the proposed project by the Department of Resource Management, the following environmental resources were considered but no potential for adverse impacts to these resources were identified. A discussion of the no impact finding on environmental resources is provided below:

- | | |
|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Population and Housing |
| <input type="checkbox"/> Energy | <input type="checkbox"/> Public Services |

- | | |
|--|--|
| <input type="checkbox"/> Hydrology and Water | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Tribal Cultural Resources |
| | <input type="checkbox"/> Wildfire |

2.1 Aesthetics

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. In nonurbanized areas, substantially degrade the existing visual character or quality of the site and its surroundings? If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Environmental Setting

Surrounding foreground views to the north, east, and south are that of a relatively flat agricultural landscape typical of the Suisun Valley Agricultural Region. Lands are predominantly planted in vineyards surrounding the subject site. Oak covered hillsides reaching elevations of approximately 400 feet above mean sea level are located west of the site. A riparian corridor along Suisun Creek consisting primarily of large trees and brush can be seen approximately 1,000 feet east of the proposed project. The following oblique photograph of the subject site depicts the landscape within the vicinity of the project.

Figure 10 – View Northeast towards the Subject Site



Impacts Discussion

a. Have a substantial adverse effect on a scenic vista?

The General Plan (Resources Chapter pg. RS-36) identifies the county's agricultural landscapes and oak and grass covered hills as scenic resources. In addition, Suisun Valley Road is identified as the nearest Scenic Roadway on Figure RS-5 of the General Plan.

Surrounding agricultural crop production and oak covered hills within the vicinity are considered scenic resources. As shown on the proposed site plan, development is clustered near the center of the lot, preserving a large portion of the property for continued agricultural production. Development is set back approximately ¼ mile from Suisun Valley Road, the nearest Scenic Roadway. Development within view from the Scenic Roadway is existing. **No Impact**

b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

There are no trees, rock outcroppings, or historic buildings within a state scenic highway that would be affected by the project. **No Impact.**

c. *Substantially degrade the existing visual character or quality of the site and its surroundings?*

The project will occur and operate within the existing development on-site and preserves the agricultural landscape and scenic resource qualities of the property as well as surrounding lands. **No Impact.**

d. *Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?*

Exterior light fixtures on buildings, and along walkways, parking, and patio areas will be aimed downward and shielded to prevent glare or reflection and to minimize light pollution beyond the project boundaries. **Less than Significant Impact.**

2.2 AGRICULTURAL AND FORESTRY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

As referenced on the 2018 California Department of Conservation Important Farmland map, the 79.29-acre subject site is classified as Prime Farmland. Prime Farmland has the best combination of physical and chemical features able to sustain long-term agricultural production. This land has the soil quality, growing season, and moisture supply needed to produce sustained high yields. Land must have been used for irrigated agricultural production at some time during the four years prior to the mapping date.

The property is predominantly utilized for agricultural purposes and since 1969 has been entered into an active Williamson Act Contract (Contract No. 116). 63-acres of the property is devoted vineyard cultivation. The balance of the property is established with residential development. A riparian corridor along Suisun Creek runs along the eastern property line. The existing land use and

proposed development are allowed and conditionally allowed within the Suisun Valley Agriculture “A-SV-20” Zoning District.

Impacts Discussion

- a. *Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?*

The property is shown as Prime Farmland pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. The project consists of the development of a winery and related uses with crop production on the remaining acreage. Agricultural processing uses, including wineries, are considered an agricultural use. New construction of the proposed parking area and building addition are sited within the established residential footprint of the site and would not convert or remove an agricultural use. **No Impact.**

- b. *Conflict with existing zoning for agricultural use, or a Williamson Act contract?*

The existing and proposed land uses are allowed and conditionally allowed within the Suisun Valley Agriculture “A-SV-20” Zoning District (Reference Solano County Zoning Regulations Section 28.23 Table A). The project is identified as a compatible land use by the Solano County Uniform Rules and Procedures Governing Agricultural Preserves and Land Conservation Contracts. **No Impact.**

- c. *Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?*

The project would not result in the conversion of Farmland to a non-agricultural use, neither on or off site. **No Impact.**

- d. *Result in the loss of forest land or conversion of forest land to non-forest use?* **No Impact.**

2.3 AIR QUALITY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

Environmental Setting

The Suisun Valley is located within the San Francisco Bay Area Air Basin (SFBAAB), which also comprises Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, and Santa Clara Counties and the southern portion of Sonoma County. Western Solano County is currently designated as a nonattainment area for the federal and state ozone (8-hour) and PM2.5 (24-hour) standards (ARB 2009, EPA 2009). In addition, western Solano County is currently designated as a nonattainment area for the state ozone (1-hour) and the state PM10 (24-hour) standards. Solano County is unclassified for the federal PM10 standard (ARB 2009).

Concentrations of ozone, carbon monoxide (CO), nitrogen dioxide (NO2), sulfur dioxide (SO2), respirable and fine particulate matter (PM10 and PM2.5), and lead are used as indicators of ambient air quality conditions. Because these are the most prevalent air pollutants known to be deleterious to human health, and because there is extensive documentation available on health-effects criteria for these pollutants, they are commonly referred to as “criteria air pollutants.” Sensitive receptors within the vicinity of the proposed project include nearby single-family residential dwellings to the southeast.

The General Plan EIR found that future development under the General Plan in Solano County would generate emissions of criteria air pollutants and ozone precursors, both of which affect regional air quality. The General Plan EIR found that even with Mitigation Measure 4.2-2a (Coordinate with Air Districts on Assumptions from Air Quality Plan Updates) and the various General Plan goals, policies, and programs intended to minimize air quality impacts, implementation of the General Plan would still result in operational emissions in excess of significance thresholds and assumptions used by the Bay Area Air Quality Management District (BAAQMD) for applicable clean air plans and attainment planning efforts. Therefore, the General Plan EIR found that build out of the General Plan would conflict with current air quality planning efforts.

The anticipated population and development with implementation of the General Plan would lead to operational (mobile-source and area-source) emissions that exceed BAAQMD’s significance thresholds. Implementation of General Plan EIR Mitigation Measure 4.2-3a, the adopted General Plan policies and implementation programs, and existing regulations would reduce operational emissions of reactive organic gases (ROG), oxides of nitrogen (NOX), and PM10, but not to a less-than-significant level.

Construction-related emissions of criteria air pollutants and precursors would still exceed significance thresholds; for this reason, and because of the large amount of development anticipated in Solano County, such emissions would violate or contribute substantially to an existing or projected air quality violation, and/or expose sensitive receptors to substantial pollutant concentrations.

Impacts Discussion

- a. *Conflict with or obstruct implementation of the applicable air quality plan?*

The project is consistent with the development assumptions evaluated in the General Plan EIR. Because the proposed project is consistent with the General Plan, it is not anticipated to exceed the impacts analyzed within the General Plan EIR. The Proposed processing facility's incremental contribution to regional nonattainment conditions as documented in the General Plan EIR is not an impact peculiar to the project within the meaning of State CEQA Guidelines Section 15183. Rather, the General Plan EIR, and the related findings adopted by the Solano County Board of Supervisors, identified air quality impacts as significant and unavoidable. To the extent that the proposed project contributes incrementally to those impacts, CEQA Guidelines Section 15183 permits the County to conclude that such impacts have been adequately discussed and disclosed in the General Plan EIR. **Less Than Significant Impact with Mitigation. AIR-1 and AIR-2.**

- b. *Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?*

Reference discussion (a) above. **Less Than Significant Impact with Mitigation.**

- c. *Expose sensitive receptors to substantial pollutant concentrations?*

Reference discussion (a) above. **Less than Significant Impact with Mitigation.**

- d. *Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?*

Reference discussion (a) above. **Less than Significant Impact with Mitigation.**

Mitigation Measures:

Mitigation Measure AIR - 1. Require Implementation of Measures to Reduce Construction-Related Exhaust Emissions. The applicant, as a condition of project approval, shall be required to implement the following measures to further reduce exhaust emissions from construction-related equipment:

- Commercial electric power shall be provided to the project site in adequate capacity to avoid or minimize the use of portable gas-powered electric generators and equipment.
- Where feasible, equipment requiring the use of fossil fuels (e.g., diesel) shall be replaced or substituted with electrically driven equivalents (provided that they are not run via a portable generator set).
- To the extent feasible, alternative fuels and emission controls shall be used to further reduce NOX and PM10 exhaust emissions.
- On-site equipment shall not be left idling when not in use.
- The hours of operation of heavy-duty equipment and/or the amount of equipment in use at any one time shall be limited.
- Construction shall be curtailed during periods of high ambient pollutant concentrations; this may involve ceasing construction activity during the peak hour of vehicular traffic on adjacent roadways or on Spare the Air Days.

- Staging areas for heavy-duty construction equipment shall be located as far as possible from sensitive receptors.
- Before construction contracts are issued, the project applicants shall perform a review of new technology, in consultation with BAAQMD, as it relates to heavy-duty equipment, to determine what (if any) advances in emissions reductions are available for use and are economically feasible. Construction contract and bid specifications shall require contractors to utilize the available and economically feasible technology on an established percentage of the equipment fleet. It is anticipated that in the near future, both NOX and PM10 control equipment would be available.

Mitigation Measure AIR - 2. Require Implementation of Measures to Reduce Fugitive PM10 Dust Emissions. The applicant, as a condition of project approval, to implement the following enhanced and additional control measures recommended by BAAQMD to further reduce fugitive PM10 dust emissions:

- Hydroseeding shall be used or nontoxic soil stabilizers shall be applied to inactive construction areas (previously graded areas inactive for 10 days or more).
- Exposed stockpiles (e.g., dirt, sand) shall be enclosed, covered, or watered twice daily, or nontoxic soil binders shall be applied to such stockpiles.
- Traffic speeds on unpaved roads shall be limited to 15 mph.
- Sandbags or other erosion control measures shall be installed to prevent runoff of silt to public roadways.
- Vegetation shall be replanted in disturbed areas as quickly as possible.
- Wheel washers shall be installed on all exiting trucks, or the tires or tracks of all trucks and equipment leaving the site shall be washed off.
- Windbreaks shall be installed or trees/vegetative windbreaks shall be planted at windward side(s) of construction areas.
- Excavation and grading activity shall be suspended when winds (instantaneous gusts) exceed 25 mph.
- The area subject to excavation, grading, and other construction activity at any one time shall be limited, as necessary.

2.4 BIOLOGICAL RESOURCES

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate,	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

- b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act including, but not limited to, marsh, vernal pool, coastal, etc., through direct removal, filling, hydrological interruption, or other means?
- d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

Environmental Setting

As seen on the General Plan’s Priority Habitat Areas map (Figure RS-1 of the General Plan), the subject site is not located within any identified wetland or vernal pool area, conservation area, critical habitat, or recovery area. The County does not have a tree preservation ordinance and no trees are proposed for removal. This project will not conflict with conservation plans.

The project proponent has provided the results of a Biological Reconnaissance Report which surveyed the project site to identify potential jurisdictional wetlands, sensitive natural communities, and special status plant or wildlife habitat (Appendix C). The report concludes that based on occurrence records, habitat availability, and the reconnaissance-level site visit, no special status plant or wildlife species, or sensitive natural communities are expected to occur at the project site, with the exception of potential seasonal nesting by protected migratory birds. No potentially jurisdictional wetlands or waters were observed.

A letter submitted to the County by the California Department of Fish and Wildlife dated May 27, 2021 states that Special-status species with the potential to occur on or near the Project site include, but are not limited to, Swainson's hawk (*Buteo swainsoni*), listed as threatened pursuant to CESA; burrowing owl (*Athene cunicularia*), a California Species of Special Concern (SSC); pallid bat (*Antrozous pallidus*), an SSC; and white-tailed kite (*Elanus leucurus*), a Fully Protected Species.

Swainson's Hawk

Potentially suitable nesting trees exist in the riparian habitat of Suisun Creek, approximately 500 feet to the east of the Project site. In addition, other trees in the vicinity of the Project site may provide suitable nesting habitat. The agricultural fields, rangeland, and open space near the Project provide potentially suitable foraging habitat. There are California Natural Diversity Database (CNDDDB) occurrences of nesting Swainson's hawk approximately 1.8 miles northeast of the Project site and approximately 2.9 miles to the south. Swainson's hawks are present within the vicinity of the Project site and there is potentially suitable habitat for the species in the vicinity of the Project where the species could be impacted. To reduce impacts to less-than-significant CDFW recommends the following Mitigation Measure BIO-1:

Burrowing Owl

As identified by CDFW, there are two documented occurrences of burrowing owl within 3.1 and 3.7 miles southeast of the Project site according to the CNDDDB. In accordance with CDFW, owls may be disturbed up to 1,640 feet from a project. Burrowing owls are present within the vicinity of the Project site and there is potentially suitable habitat for the species in the vicinity of the Project where the species could be impacted.

The Project could result in burrowing owl nest abandonment, loss of young, reduced health and vigor of owlets, or injury or mortality of adults. Additionally, the Project may result in a permanent reduction of burrowing owl habitat in Solano County. Burrowing owls are an SSC due to population decline and breeding range retraction. Based on the above, the Project may potentially significantly impact burrowing owls. To reduce impacts to less-than-significant CDFW recommends the following Mitigation Measures BIO-2A and BIO-2B:

Nesting Birds

Nesting birds may be disturbed by Project noise or human presence, which could lead to nest abandonment or reduced health and vigor of young, a potentially significant impact. To reduce impacts to less than significant, CDFW recommends the following Mitigation Measure BIO-3:

Pallid Bat

The Project provides potentially suitable roost structures and foraging habitat for pallid bat, an SSC, and other bat species. The pallid bat ranges throughout California and occupies a wide variety of habitat types. In addition, the California Bay Area Linkage Network identifies the habitat surrounding the Project area as a core area for pallid bats and notes that these bats can use vineyards for invertebrate foraging. Pallid bats can roost in buildings or under porches and open structures. The Project site contains potentially suitable roost buildings and foraging habitat and is in the vicinity of potentially suitable habitat.

Pallid bats are highly sensitive to human disturbance. Project activities that convert and expand existing buildings could cause roost or young abandonment and injury or mortality of bats, a

potentially significant impact. To reduce impacts to less than significant, CDFW recommends the following Mitigation Measure BIO-4:

Impacts Discussion

- a. *Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?*

Species identified as a candidate, sensitive, or special status in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service have not been identified on-site; however have occurred within the vicinity and have the potential to be impacted by the Project. The following Mitigation Measures would reduce the potential for impacts to **less-than-significant**.

Mitigation Measure BIO-1: Swainson's Hawk Surveys

If Project activities are scheduled during the nesting season for Swainson's hawks (March 1 to September 15), prior to beginning work on the Project, a qualified biologist shall conduct surveys according to the *Recommended timing and methodology for Swainson's Hawk Nesting Surveys in California's Central Valley*. Survey methods should be closely followed by starting early in the nesting season (late March to early April) to maximize the likelihood of detecting an active nest (nests, adults, and chicks are more difficult to detect later in the growing season because trees become less transparent as vegetation increases). Surveys shall be conducted: 1) within a minimum 0.5-mile radius of the Project site or a larger area if needed to identify potentially impacted active nests, and 2) for at least the two survey periods immediately prior to initiating Project-related construction activities. Surveys shall occur annually for the duration of the Project. The qualified biologist shall have a minimum of two years of experience implementing the survey methodology resulting in detections. If active Swainson's hawk nests are detected, the Project shall implement a 0.5-mile construction avoidance buffer around the nest until the nest is no longer active as determined by a qualified biologist. If take of Swainson's hawk cannot be avoided, the Project shall consult with CDFW pursuant to CESA and obtain an ITP. CDFW Bay Delta Region staff is available to provide guidance on the ITP application process.

Mitigation Measure BIO-2A: Burrowing Owl Habitat Assessment, Surveys, and Avoidance

Prior to Project activities, a habitat assessment shall be performed consistent with CDFW protocol. The habitat assessment shall extend at least 492 feet from the Project site boundary and include burrows and burrow surrogates. If the habitat assessment identifies potentially suitable burrowing owl habitat, then a qualified biologist shall conduct surveys following the CDFW survey methodology. Surveys shall encompass the Project site and a sufficient buffer zone to detect owls nearby that may be impacted commensurate with the type of disturbance anticipated, and include burrow surrogates such as culverts, piles of concrete or rubble, and other non-natural features, in addition to burrows and mounds. Time lapses between surveys or Project activities shall trigger subsequent surveys, as determined by a qualified biologist, including but not limited to a final survey within 24 hours prior to ground disturbance. The qualified biologist shall have a minimum of two years of experience implementing CDFW survey methodology resulting in detections. Detected nesting burrowing owls shall be avoided pursuant to the buffer zone prescribed and in any passive relocation plan for non-nesting owls shall be subject to CDFW review.

Mitigation Measure BIO-2B: Burrowing Owl Habitat Mitigation

If the Project would impact an unoccupied nesting burrowing owl burrow or burrow surrogate (i.e., a burrow known to have been used in the past three years for nesting), or an occupied burrow (where a non-nesting owl would be evicted as described above), the following habitat mitigation shall be implemented prior to Project construction.

Impacts to each nesting site shall be mitigated by permanent preservation of two occupied nesting sites with appropriate foraging habitat within Solano County, unless otherwise approved by CDFW, through a conservation easement and implementing and funding a long-term management plan in perpetuity. The same requirements shall apply for impacts to non-nesting evicted owl sites.

The Project may implement alternative methods for preserving habitat with written acceptance from CDFW.

Mitigation Measure BIO-3: Nesting Bird Surveys

If construction, grading, or other Project related activities are scheduled during the nesting season, February 1 to September 1, a focused survey for active nests shall be conducted by a qualified biologist within 7 days prior to the beginning of Project related activities. If an active nest is found, the qualified biologist shall delineate a no-work-zone buffer distance around the nest that is site and species specific using high visibility fencing or flagging. The buffer distance shall be specified to protect the bird's normal behavior and prevent nesting failure or abandonment. No work shall occur within the no-work-zone until the nest is no longer active as determined by a qualified biologist. Fencing or flagging material shall be removed and properly disposed after Project activities are complete or the nest is no longer active, as determined by a qualified biologist. If a lapse in Project related work of 7 days or longer occurs, another focused survey shall occur before Project work is reinitiated.

Mitigation Measure BIO-4: Roosting Bat Surveys

Prior to Project activities a qualified bat biologist shall conduct surveys for pallid bats prior to Project construction. The survey methodology shall include an initial habitat assessment and survey several months before project construction, to facilitate sufficient time to implement the exclusion plan described below, and the types of equipment used for detection.

Biologist resumes and a survey methodology shall be submitted to CDFW for approval prior to implementing surveys. Biologist resumes shall reflect a least two years of experience conducting bat surveys that resulted in detections of pallid bat including the project name, dates, and person who can verify the experience. Ideally, the resume should also indicate that the biologist possesses a state-issued Scientific Collecting Permit for the relevant species.

An exclusion plan shall be submitted to CDFW and the County for approval if bats are detected during the above survey. The plan shall: 1) recognize that both the maternity and winter roosting seasons are vulnerable times for bats and require exclusion outside of these times, 2) identify suitable areas for excluded bats to disperse or require installation of appropriate dispersal habitat for the bats, such as artificial bat houses, and an associated management and monitoring plan with necessary funding, and 3) be implemented prior to project construction and allow bats to leave the building unharmed.

- b. *Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?*

No aquatic, wetland or riparian habitat or other sensitive natural community is impacted by the proposed expansion.

The proposed project would occur and is located approximately 1,000 feet from the existing riparian corridor to the east. No other sensitive natural communities were found on or adjacent to the project site. **No Impact.**

- c. *Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act including, but not limited to, marsh, vernal pool, coastal, etc., through direct removal, filling, hydrological interruption, or other means?*

There are no federally impacted wetlands located on the subject site. **No Impact.**

- d. *Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?*

The site is located within the general vicinity of a habitat corridor/linage on Figure RS-1 (Priority Habitat Area) of the General Plan. The site has been historically disturbed through farming practices and residential activities. **Less Than Significant Impact.**

- e. *Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?*

The project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance, or conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan. These types of ordinances have not been adopted within this region of the County. **No Impact.**

- f. *Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?*

Reference discussion (e) above. **No Impact.**

2.5 CULTURAL RESOURCES

Would the project:	Significant Impact	Less Than Significant Impact With Mitigation	Less Than Significant Impact	No Impact
a. Cause a substantial adverse change in the significance of an historical resource as defined in CEQA Guidelines §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a substantial adverse change in the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

significance of an archaeological resource pursuant to CEQA Guidelines §15064.5?

- c. Disturb any human remains, including those interred outside of dedicated cemeteries?

Environmental Setting

The project site was converted from an orchard to a vineyard in 1968. The secondary dwelling unit and two accessory buildings in the vicinity were constructed about or prior to 1968. These structures have no special architectural merits nor designed by a master architect. The primary residence and additional accessory structures were constructed between 2002 and 2008; these buildings do not qualify for listing as historic resources under the criteria of the California Register of Historic Resources of being 45 years of age or older.

The top 2 to 3 feet of topsoil are disturbed due to prior disking or vineyard ripping. The building addition, parking lot paving, and widening of the southern driveway would require approximately 2 feet of excavation. Agricultural operations on-site have been occurring since at least 1968 and the proposed project will be in an area previously developed area.

Impacts Discussion

- a. *Cause a substantial adverse change in the significance of an historical resource as defined in CEQA Guidelines §15064.5?*

The buildings on the property are not architecturally distinctive, constructed relatively recently, and do not convey important historical themes. The existing development does not meet criteria for inclusion on the California Register of Historical Resources; therefore, no formal evaluation is warranted.

The top two to three feet of soil is loose due to prior disking and vineyard ripping. The depth of any excavation for the additions to an existing building and other onsite improvements would not exceed two feet. The shallow depth of the excavation would not encounter cultural resources.

No Impact.

- b. *Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines §15064.5?*

Due to the historical agricultural use and ground disturbance of the property, it is not likely that archeological resources exist on the site. State law (Section 7050.5 of the California Health and Safety Code) dictates that any human remains found during construction activities shall be reported to the proper official(s). **No Impact.**

- c. *Disturb any human remains, including those interred outside of formal cemeteries?*

Due to the agricultural nature of the site, it is not likely that any human remains exist on the site. State law (Section 7050.5 of the California Health and Safety Code) dictates that any human remains found during construction activities shall be reported to the proper official(s). **No Impact.**

2.6 ENERGY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Impacts Discussion

a. *Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?*

No Impact.

b. *Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?*

No Impact.

2.7 GEOLOGY AND SOILS

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map, issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The Seismic Shaking Potential map, Figure HS-3 of the General Plan depicts the project within the Highest Potential Earthquake Damage Area and within one mile of the Cordelia Fault. The project is not located within an Alquist-Priolo fault zone. Per General Plan Figure HS-6, the project site has Moderate liquefaction potential. The Landslide Stability map (Figure HS-5) depicts the project within an area of least landslide susceptibility (Area 1).

The project proponent has provided a preliminary Geotechnical Exploration Report from KC Engineering Company (Appendix D). The report describes the soils as hard to moderately to high expansive clay with varying amount of sand extending to a maximum of 40 feet below grade. The upper 2 to 3 feet of topsoil are relatively loose due to prior disking and/or vineyard ripping. There is no indication of active faults at the site. The Geological Exploratory Report includes recommendations on drainage, foundation, slab-on-grade amongst others. The underlying soil is stable and suitable for the project. The project site is not on a seismic fault and have no potential of fault rupture. The site is not subject to seismically induced landslide hazards and the potential for liquefaction, is very low.

Impacts Discussion

a. *Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury or death involving:*

- i. *Rupture of a known earthquake fault, as described on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?*

The site is not located within an Alquist-Priolo Fault Zone; however, is located within one mile of the Cordelia Fault identified in the General Plan. New construction would require issuance of building permit(s) requiring structures to be built to the latest Uniform Building Code. **Less Than Significant Impact.**

- ii. *Strong seismic ground shaking?*

Reference discussion (a) above. **Less Than Significant Impact.**

- iii. *Seismic-related ground failure, including liquefaction?*

The subject site is located within an area of Moderate Liquefaction Potential. The project will require a soils and geologic report and a foundation and structural engineering designed to minimize any impacts from liquefaction. **Less Than Significant Impact.**

- iv. *Landslides?*

The subject site is located within an area Least Susceptible to Landslide. **No Impact.**

- b. *Result in substantial soil erosion or the loss of topsoil?*

Issuance of a grading and drainage permit is necessary prior to construction, which will impose conditions which prevent soil erosion. **Less Than Significant Impact.**

- c. *Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, differential settlement, liquefaction or collapse?*

Reference discussion in (a) above. **Less Than Significant Impact.**

- d. *Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?*

Reference discussion (a) above. **Less Than Significant Impact.**

- e. *Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?*

New solid waste facilities and wastewater treatment facilities would be installed to handle the increased discharge from the project. **No Impact.**

- f. *Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?*

No unique paleontological resource or unique geologic feature have been identified on-site. **No Impact.**

2.8 GREENHOUSE GAS EMISSIONS

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Environmental Setting

Also reference discussion under 2.3 Air Quality. In addition, the new wine fermentation tanks use ganimede technology that would use the carbon dioxide from the fermentation process stir the tanks instead of doing so mechanically. Therefore, extremely low levels of carbon dioxide will be released into the atmosphere. Equipment used during the renovation would use Tier4 Compliant Construction Equipment.

Impacts Discussion

a. *Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?*

The proposed project may generate greenhouse gas emissions in addition to other emissions during the construction phase of the project. **Less Than Significant with Mitigation. GHG – 1.**

b. *Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?*

The proposed project may generate greenhouse gas emissions in addition to other emissions during the construction phase of the project. **Less Than Significant with Mitigation. GHG – 1.**

Mitigation Measures:

Mitigation Measure GHG – 1. Require Tier-3 Compliant Construction Equipment. Equipment utilized during grading and construction shall meet Tier-4 standards of emission control.

2.9 HAZARDS AND HAZARDOUS MATERIALS

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The winery will utilize a series of potentially hazardous materials in its' production process, including:

- Sodium percarbonate,
- Citric acid anhydrous,
- Potassium carbonate,
- Bentonite performance minerals,
- Metabisulphite,
- Sulfurous Acid,
- Peroxyacetic acid,
- Sodium Hydroxide
- Starsan
- PBW

As seen on Figure 2A of the Travis Air Force Base Land Use Compatibility Plan, the subject property is located outside of the LUCP Area Influence Zone. The site is located greater than two miles from a public use airport and not within the vicinity of a private airstrip.

The project is over one mile from any urbanized area and is identified as a moderate or low Wildland Fire Area per General Plan Figure HS-9.

Impacts Discussion

- a. *Does the project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?*

The project is required to operate in compliance with a Hazardous Materials Business Plan issued by Solano County. The plan provides for the proper use and storage of the materials identified above as well as emergency response procedures in the event of a release of hazardous materials. **Less Than Significant Impact.**

- b. *Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?*

Reference discussion (a) above. **Less Than Significant Impact.**

- c. *Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?*

The project is not located within one-quarter mile of a school. **No Impact.**

- d. *Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?*

The project is not located on a hazardous materials site as defined in Government Code Section 65962.5. **No Impact.**

- e. *For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?*

The project is located outside of the Travis LUCP area of influence and not within two miles of a public airport. The project is consistent with the Land Use compatibility Plan for Travis Air force Base. **No Impact.**

f. *Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?*

The project will not affect any adopted emergency response plans. **No Impact.**

g. *Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?*

The project is not located in the vicinity of any wildland/urban interface areas. **No Impact.**

2.10 HYDROLOGY AND WATER QUALITY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or through the addition of impervious surfaces, in a manner which would:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

polluted runoff; or

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| iv) Impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Environmental Setting

The project will utilize an on-site septic system to handle wastewater discharge.

The project will be served by a combination of exiting water sources. Solano Water Authority supplies water for irrigation and fire suppression (building fire sprinklers, standpipes and two fire hydrants) and the City of Vallejo provides domestic potable water. Two existing wells also provide potable water to the site. The project site is within a ‘C’ zone as indicated by USGS water bearing rock map, which is an area with adequate water supply.

Per the Health and Safety Chapter of the Solano County General Plan, the proposed project is not located within an area subject to inundation by seiche, tsunami, or mudflow.

Approximately 63 acres of the subject site are cultivated with vineyards. Development of additional parking along the southern driveway will remove less than one-acre of vineyard. Stormwater runoff will enter the on-site vineyard to the east. The project does not warrant a stormwater detention basin.

The subject site is outside the 100-year flood plain with a FEMA designation of Zone AO.

Impacts Discussion

- a. *Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?*

The project requires private septic system permitting through Solano County Environmental Health, whereas adherence to those permit requirements protects against violation of any water quality standards or waste discharge. **No Impact.**

- b. *Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?*

The project will be served by on-site well and City of Vallejo for domestic drinking water and will not require a substantial increase in ground water utilization. The intermittent nature of the events allows for groundwater recharge. **No Impact.**

- c. *(i – iv) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or through the addition of impervious surfaces?*

The development will not alter any creeks, streams or rivers. Storm water will be retained onsite and released at pre-development rates. **No Impact.**

d. *In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?*

The project is not in an area which would experience any inundation by seiche, tsunami, or mudflow. **No Impact.**

e. *Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?*

Reference (a) above. **No Impact.**

2.11 LAND USE AND PLANNING

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The subject site is designated Agriculture by the Solano County General Plan. Further, the General Plan identifies ten Agricultural Regions throughout the County, the subject site being located within the Suisun Valley Agricultural Region.

The subject site is zoned Suisun Valley Agriculture “A-SV-20” consistent with the General Plan designation. Section 28.23 of the County Zoning Ordinance provides a table of allowed uses and permit requirements applicable to this zoning district. As seen on Table 28.23A, crop production, residential development, agricultural processing, and special events facilities are allowed or conditionally allowed land uses within the A-SV-20 Zoning District.

Impacts Discussion

a. *Physically divide an established community?*

The project is not located within an established community. **No Impact.**

b. *Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?*

Table LU-5 of the General Plan provides a description and intent of the Agricultural designation:

The (Agricultural Designation) provides areas for the practice of agriculture as the primary use, including areas that contribute significantly to the local agricultural economy, and allows for secondary uses that support the economic viability of agriculture. Agricultural land use designations protect these areas from intrusion by nonagricultural uses and other uses that do not directly support the economic viability of agriculture.

Table AG-3 of the General Plan highlights the unique characteristics of each region and summarizes desired land uses: *The (Suisun Valley) provides for agricultural production, agricultural processing facilities, facilities to support the sale of produce, and tourist services that are ancillary to agricultural production.*

The project does not conflict with the intent of the Solano County General Plan, Suisun Valley Strategic Plan, or the Suisun Valley Agriculture Zoning District. **No Impact.**

2.12 MINERAL RESOURCES

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

As seen on the Mineral Resources map, Figure RS-4 of the Solano County General Plan, there are no active mines or mineral resource zones within the vicinity of the project site.

Impacts Discussion

- a. *Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?*

No known mineral resources exist at the site. **No Impact.**

- b. *Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?*

Reference discussion (a) above. **No Impact.**

2.13 NOISE

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Generation of excessive ground borne vibration or ground borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The site is surrounded by agriculturally zoned properties. Table HS-2 of the Solano County General Plan indicates a community noise exposure of less than 75 dBA to be normally acceptable for agricultural uses. The nearest sensitive receptor(s), residences within the Willotta Oaks neighborhood are 1/2 mile southeast of the project.

Impacts Discussion

- a. *Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?*

Construction and grading of the project would generate noise on-site; however, will be temporary in nature. Noise levels from on-going agricultural practices along with temporary construction are anticipated to be less than significant because of the temporary nature along with the distance to nearest sensitive receptors existing in the agricultural setting. Social gatherings would be held indoors within the event barn and suppress noise levels from extending beyond parcel boundaries. Outdoor events with DJ or live bands will generate noise, however adherence to Section 28.70.10 of the County Zoning Regulations would prevent offensive noise that exceeds 65dBA LDN at any property line. **Less Than Significant Impact.**

- b. Generation of excessive ground borne vibration or ground borne noise levels?

Reference discussion (a) above. **Less Than Significant Impact.**

- c. *For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?*

The project is located outside the area of influence of the Travis Air Force Base Land Use Compatibility Plan (LUCP) and as seen on Figure 2B of the LUCP, the subject site located outside any of the identified noise contours. The project is not located within the vicinity of a private airstrip. **No Impact.**

2.14 POPULATION AND HOUSING

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The project is agricultural and commercial agri-tourism in nature and does not involve residential development or the expansion of off-site infrastructure.

Impacts Discussion

- a. *Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?*

The project does not substantially induce population growth or construct infrastructure that could induce population growth. **No Impact.**

- b. *Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?*

The project does not involve the displacement of homes or people or necessitate construction of more housing elsewhere. **No Impact.**

2.15 PUBLIC SERVICES

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:				
Fire Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Police Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Public Facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting & Impacts Discussion

a. *Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:*

The subject site is located within and currently served by the Cordelia Fire protection district and is within the jurisdiction of the Solano County Sheriff’s Department for the unincorporated County. No schools or parks will be affected. The project will utilize an on-site domestic water well. An on-site septic system would serve the project with no impacts to municipal sanitation services. **No Impact.**

2.16 RECREATION

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Would the project increase the use of	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

- b. Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?

Environmental Setting & Impacts Discussion

The project does not involve or affect recreational facilities or resources.

- a. *Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?*

The project does not involve or affect recreational facilities or resources. **No Impact.**

- b. *Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?*

The project does not involve or affect recreational facilities or resources. **No Impact.**

2.17 TRANSPORTATION

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b) "vehicle miles traveled"?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Substantially increase hazards due to a geometric design feature (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The applicant has provided a Focused Traffic Impact Analysis prepared by GHD Inc. dated January 16, 2020. Reference Appendix E for further detailed discussion regarding setting, existing conditions, and analysis.

The primary roadway serving the project site is Suisun Valley Road:

Suisun Valley Road is oriented in a north-south direction extending north from Interstate 80, to State Route 121 in Napa County (where it becomes Wooden Valley Road). Suisun Valley Road is classified as a Collector road in the Solano County General Plan. In the project vicinity, it is a rural two-lane roadway with centerline striping and unimproved shoulder areas of various widths (no sidewalks or bicycle lanes). Suisun Valley Road along the project frontage is straight and flat, but there is a horizontal curve 1,300 feet south of the main driveway and a horizontal curve 500 feet north of the main driveway. There are two driveways accessing the property: the main driveway is located to the north of the property and a secondary driveway is located 500 feet south of the main driveway.

Speed limit signs are located on Suisun Valley Road between the two driveways. North of the signs the speed limit is 55 mph and south of the signs the speed limit is 45 mph. The horizontal curve to the south has an advisory speed of 35 mph and the curve to the north has an advisory speed of 40 mph.

Rockville Road is located south of the project site and is oriented in an east-west direction. Also called the Lincoln Highway, it extends west from Interstate 80, intersecting Suisun Valley Road, then continues to the town of Green Valley approximately three miles further west. Rockville Road is classified as a Collector road in the Solano County General Plan. It is a rural two-lane roadway with the centerline striping and unimproved shoulders. Rockville Road has a 45-mph speed limit east of Suisun Valley Road and a 35-mph speed limit west of Suisun Valley Road. However, all approaches to the Suisun Valley Road/Rockville Road intersection have a 25-mph speed limit within approximately 300 feet of the intersection.

Bicycles

There are currently no striped bicycle lanes or paths on Suisun Valley Road. However, the Solano Transportation Authority has prepared a comprehensive Countywide Bicycle Transportation Plan that has proposed 6.9 miles of Class II bicycle lanes on Suisun Valley Road extending from Mangels Boulevard to the Napa County Line. There are striped, paved shoulders on Rockville Road extending from Suisun Valley Road to Green Valley Road that serve as Class II bicycle lanes. Proposed improvements for Rockville Road consist of extending the Class II bicycle lanes from Suisun Valley Road to the Fairfield city limit.

Public Transit

There are currently no fixed route services on Suisun Valley Road or Rockville Road in the vicinity of the project site. A public bus route providing service between the Fairfield Transit Center and the Vallejo Transit Center has a bust stop at the Solano Community College located approximately one mile south of the project site.

Existing Intersection Operations

To identify existing traffic conditions, traffic counts were conducted at the project site's two driveway intersections with Suisun Valley Road and at the Suisun Valley Road/Rockville Road intersection. Weekend (Saturday) counts were conducted between 12:00-4:00 p.m. and Weekday counts were

conducted between 3:00-6:00 pm in order to identify peak background volumes on the street network. The traffic counts were conducted October 2019 during the grape harvest/crush season when seasonal work demand peaks. As a result, traffic volumes on roadways are temporarily very high, therefore the existing traffic volumes provide a conservatively high baseline for the analysis. A machine tube-count was also conducted on Suisun Valley Road for one week in order to identify the Average Daily Traffic (ADT) volumes on Suisun Valley Road fronting the project site. The existing weekday and weekend peak hour volumes are shown on Figure 2 of Appendix 6.5.

Existing weekday PM and weekend afternoon peak hour intersection traffic operations were evaluated utilizing the existing traffic volumes and existing intersection lane geometrics and controls. The Suisun Valley Road/Bally Keal driveway intersections operate at acceptable LOS during weekday and weekend peak hours. The intersections operate at LOS B or better for the stopped westbound driveway approach. Existing turn volumes at the driveways are low, approximately 1-2 peak hour trips. The Suisun Valley Road/Rockville Road intersection operates at LOS C or better during the weekday and weekend peak hours. The existing levels of service are shown below:

**EXISTING PEAK HOUR INTERSECTION OPERATIONS
 LEVEL OF SERVICE (LOS) AND SECONDS OF DELAY**

Intersection	Control	Weekday PM Peak Hour	Saturday Afternoon Peak Hour
		Existing LOS Delay	Existing LOS Delay
Suisun Valley Rd. / North Driveway	MSSC	A 0.0"	B 12.4"
Suisun Valley Rd. / South Driveway	MSSC	B 13.3"	B 13.6"
Suisun Valley Rd. / Rockville Rd.	Signal	C 23.9"	B 18.9"

*Based on Highway Capacity Manual (HCM) Operations methodology using Synchro-Simtraffic software.
 MSSC = Minor street stop control. LOS reflects approach with the longest delay.*

Existing Roadway Operations

Machine tube counts tabulated traffic volumes on Suisun Valley Road fronting the project site over a week long period, including two Fridays and two Saturdays. The Average Daily Traffic (ADT) volume for the entire period was 4,200 daily trips (2,100 northbound and 2,100 southbound). The highest weekday volumes occurred on Friday, with 4,600 daily trips (2,300 nb and 2,300 sb). Weekend Saturday volumes average 4,400 daily trips (2,200 nb and 2,200 sb).

Volumes on Suisun Valley Road were evaluated for LOS based on volume thresholds identified in the Solano County General Plan. Volumes on Suisun Valley Road operate at acceptable LOS A-C (< 15,000 daily trips).

Impacts Discussion

- a. *Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?*

Traffic operating conditions are measured by Level of Service (LOS) which applies a letter ranking to successive levels of roadway and intersection traffic performance. LOS "A" represents optimum conditions with free-flow travel and no congestion. LOS "F" represents congested conditions with long delays. When applied to unsignalized intersections with minor street stop

controls, the LOS reflects the delays experienced by the minor street approach. For all-way stop and signalized controls, the LOS reflects the average overall intersection delay. Intersection LOS have been determined using the Synchro software suite consistent with the Highway Capacity Manual methodology.

Solano County Road Improvement Standards and Land Development Requirements (adopted February 2006) establishes the following policy:

Sec. 1-4 – LEVEL OF SERVICE STANDARD: The goal of Solano County is to maintain a Level of Service C on all roads and intersections. In addition to meeting the design widths and standards contained in this document, all projects shall be designed to maintain a Level of Service C, except where the existing level of service is already below C, the project shall be designed such that there will be no decrease in the existing level of service. Levels of Service shall be calculated using the Transportation Research Board's most recent Highway Capacity Manual.

Based on the policy above, a threshold of LOS C has been established for locations operating at LOS A-C. For locations operating below LOS C, a change in the level of service from existing conditions as a result of the project is established as the threshold for significant impacts.

The traffic report determined that all surveyed intersections (Suisun Valley Road at the north driveway, Suisun Valley Road at the south driveway, and Suisun Valley Road at Rockville Road) will continue to operate at the same acceptable Level of Service C or above upon completion of the project. No intersection improvements are required by the project's traffic. **Less Than Significant Impact.**

- b. *Conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b) which establishes criteria for analyzing transportation impacts, in particular vehicle miles traveled?*

Vehicle Miles Traveled (VMT)

In December 2018, the California Office of Planning and Research (OPR) issued a Technical Advisory on Evaluating Transportation Impact in CEQA. The advisory document outlines screening thresholds for land use projects to identify when a project can be expected to cause a less-than-significant impact, particularly with regards to vehicle miles traveled (VMTs). The OPR advisory identifies Small Projects as those which generate or attract fewer than 110 trips per day, which generally may be assumed to cause a less than significant impact.

On March 12, 2021, the project proponent provided a Focused Vehicle Miles Traveled (VMT) summary analysis prepared by GHD Inc. for the project. (Appendix F). Daily trip generation associated with the winery and distillery activities would generate 65 weekday daily trips and 93 weekend daily trips. The following is a calculation of trip generation for the proposed winery:

TRIP GENERATION FOR PROPOSED WINERY

Typical Weekday Daily Trips:

Visitors: up to 60 visitors / 2.6 visitors per vehicle x 2 o-w trips	= 46 trips
Employees: up to 5 full-time x 3.05 one-way trips	= 15 trips
Trucks: Production- 90,000 gallons / 1,000 x .009 x 2 o-w trips	= 2 trips
Trucks: General deliveries	= 2 trips
Weekday Daily Trips:	= 65 trips (33 in, 32 out)
Weekday PM Peak Hour Trips: 20% of daily (30% in, 70% out)	= 13 trips (4 in, 9 out)

Typical Weekend Daily Trips:

Visitors: up to 100 visitors / 2.8 visitors per vehicle x 2 o-w trips	= 72 trips
Employees: up to 5 full-time x 3.05 one-way trips	= 15 trips
Trucks: Production- 90,000 gallons / 1,000 x .009 x 2 o-w trips	= 2 trips
Trucks: General deliveries	= 2 trips
Weekend Daily Trips:	= 91 trips (46 in, 45 out)
Weekend Afternoon Pk. Hr. Trips: 20% of daily (47% in, 53% out)	= 18 trips (9 in, 9 out)

Harvest Season Weekend Daily Trips:

Visitors: up to 100 visitors / 2.8 visitors per vehicle x 2 o-w trips	= 72 trips
Employees: up to 5 full-time x 3.05 one-way trips	= 15 trips
Trucks: Production- 90,000 gallons / 1,000 x .009 x 2 o-w trips	= 2 trips
Trucks: General deliveries	= 2 trips
Grape On-haul: 600 tons / 20 tons per truck / 36 days x 2 trips	= 2 trips
Weekend Daily Trips:	= 93 trips (46 in, 47 out)
Weekend Afternoon Pk. Hr. Trips: 20% of daily (47% in, 53% out)	= 19 trips (9 in, 10 out)

Based on screening criteria for VMT impacts, a daily trip generation of less than 110 trips would qualify for exemption under Caltrans criteria. However, daily project trip generation associated with winery activities does not include daily trips associated with the special events component of the project.

Daily trip generation for special events was calculated for the two largest events that include 200 guests and 400 guests. As proposed, the facility would host 25 events per year with 200 guests and 10 events per year with 400 guests. However, as described the project would also host 10 events per year with 100 guests. Based on the daily trip calculations, the three special event sizes would generate the following daily trips:

# of Events	Event Size	Daily Trips/Event	Total Daily Trips/Year
10	100 guest special event	80 trips	800
25	200 guest special event	160 trips	4,000
<u>10</u>	400 guest special event	322 trips	<u>3,220</u>
45			8,020

Source: GHD, Focused Traffic Impact Analysis for the Proposed Winery/Distillery Project and Special Events Facility at Bally Keal Vineyards, Solano County, May 29, 2020

As shown above, the total number of daily event trips per year is 8,020 trips. Annualized over the entire year, there would be an average increase of 22 trips per day associated with special event activities. When combined with normal winery activities, daily trips associated with special event activities would exceed Caltrans (and OPR's) screening threshold limit of 110 daily trips (92 winery daily trips + 22 special event daily trips) generating a total of 114 daily trips. Impacts to traffic are considered **Less Than Significant with Mitigation**.

Mitigation Measures:

Mitigation Measure TRAFFIC – 1: Suspend winery tasting operations during special events.

Winery operations associated with the project shall be suspended during all special event activities. Specifically, all guest visitation associated with tours and tastings (60 visitors weekday and 100 visitors weekends) shall be prohibited on days when special events are being held at the facility. Daily trip generation would be reduced by 46 trips on the weekday and 72 trips on the weekend lowering the overall project daily trips below the screening threshold of 110 daily trips.

c. *Substantially increase hazards due to a geometric design feature (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?*

The proposed facility does not include any features which create dangerous conditions. **No Impact.**

d. *Result in inadequate emergency access?*

The project does not alter the access to the site and will have sufficient ingress and egress. **No Impact.**

2.18 TRIBAL CULTURAL RESOURCES

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Would the project cause a substantial adverse change in the significance of a tribal resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

consider the significance of the resource to a California Native American tribe.

Environmental Setting

The project involves construction within approximately one acre of the developed property. There are no historical structures proposed for removal.

Impacts Discussion

- a. *Would the project cause a substantial adverse change in the significance of a tribal resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1.*

No tribal or historical resources have been identified on the subject site. **No Impact.**

2.19 UTILITIES AND SERVICE SYSTEMS

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Require or result in the construction of new or expanded water, wastewater treatment, or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Generate solid waste in excess of state or local standards, or in excess of the capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?

- e. Comply with federal, state, and local statutes and regulations related to solid waste?

Environmental Setting

The proposed winery lies within the unincorporated portion of Solano County. The winery will require electrical power, potable water, agricultural water, sanitary and process wastewater treatment facilities. Water will be provided by wells and by the City of Vallejo.

Impacts Discussion

- a. *Require or result in the construction of new or expanded water, wastewater treatment, or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?*

A process wastewater treatment system will be utilized for processed wastewater. New septic systems will be utilized for sanitary services at the winery and the visitor serving facilities. These facilities will require permitting from the San Francisco Regional Water Quality Control Board.

The City of Vallejo provides domestic water service to the site. The property has an existing 1.5" meter and backflow prevention device. It is not clear at this time if this service size can accommodate the additional supply requirements of a new public facility and distillery. Based on correspondence from the City of Vallejo (Appendix 6.2) it is very likely a new water service will be required to accommodate the converted facilities and their intended uses. The property is also developed with two domestic potable water wells. **Less Than Significant Impact.**

- b. *Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?*

Reference discussion (a) above. **Less Than Significant Impact.**

- c. *Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?*

The project will utilize onsite wastewater treatment. **No Impact.**

- d. *Generate solid waste in excess of state or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?*

Solano County is served by two landfills which maintain more than a fifteen-year capacity for the county's solid waste disposal needs. The project will not substantially increase solid waste generated on-site. **Less Than Significant Impact.**

- e. *Comply with federal, state, and local statutes and regulations related to solid waste?*

Reference discussion (d) above. **Less Than Significant Impact.**

2.20 WILDFIRE

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

The project is sited on relatively flat terrain within the Suisun Valley. As seen on Figure HS-9 of the Solano County General Plan Wildland Fire Hazard Area map, the property is located within an area designated “low or none” for wildland fire hazard. In addition, the project is located outside the California Board of Forestry and Fire Protection’s State Responsibility Area.

Impacts Discussion

a. *Substantially impair an adopted emergency response plan or emergency evacuation plan?*

There are no identified adopted emergency response plans applicable to the project. **No Impact.**

b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?

There are no identified wildfire risks associated with the project. **No Impact.**

c. *Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?*

Reference discussion (b) above. **No Impact.**

d. *Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?*

Reference discussion (b) above. **No Impact.**

2.21 MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Does the project have impacts that are individually limited, but cumulatively considerable? “Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Impacts Discussion

a-c. No environmental impacts attributable to this proposal have been identified that would have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of an endangered, rare or threatened species, eliminate important examples of the major periods of California history or prehistory, have impacts that are individually limited, but

cumulatively considerable, or cause substantial adverse effects on human beings. **Less Than Significant Impact.**

CHAPTER 3 – AGENCY COORDINATION AND PUBLIC INVOLVEMENT

3.1 Consultation and Coordination with Public Agencies

The Initial Study is being circulated for public comment and referred to the State Clearinghouse for coordinated review by state agencies.

3.2 Public Participation Methods

The Initial Study is also available at the Solano County Department of Resource Management and online at the Department's Planning Services Division website at:

<http://www.solanocounty.com/depts/rm/documents/eir/default.asp>

Interested parties may contact the planner assigned to this project at the contact points provided below:

Eric Wilberg
Planner Associate

Solano County Department of Resource Management
Planning Services Division
675 Texas Street
Fairfield, CA 94533

PHONE: (707) 784-6765
FAX: (707) 784-4805
EMAIL: ejwilberg@solanocounty.com

3.3 List of Preparers

Solano County Department of Resource Management

This Initial Study was prepared by the Solano County Department of Resource Management.

3.4 Distribution List

Federal Agencies

U.S. Army Corps of Engineers
U.S. Department of Fish and Wildlife

State Agencies

California Department of Conservation
California Department of Fish and Wildlife
California Department of Public Health, Drinking Water Field Operations Branch
California Department of Transportation (CalTrans)

Regional Agencies

Bay Area Air Quality Management District
San Francisco Regional Water Quality Board

Local Agencies

City of Vallejo
Cordelia Fire Protection District
Solano Irrigation District
Solano County Building & Safety Division
Solano County Environmental Health Division
Solano County Public Works Engineering Division

Supplemental Revisions to the Bally Keal Project
October 2021 to the
Draft Negative Declaration dated July 2021

Corrections or additional text discussed in the responses to comments are shown in the text below in strikethrough (for deleted text) and underline (for added text) format. Additional minor clarifications and corrections to typographical errors not based on responses to comments may also be shown in strikeout/underline format in the Final MND.

None of these changes introduce significant new information or affect the conclusions of the MND. The MND was circulated for a 30-day public review period July 7, 2021, through August 6, 2021.

Project Updates

The Applicant has proposed several design changes to respond to the Covid-19 Pandemic health guidelines including additional outdoor spaces since the original project submittal. These changes are not considered substantial.

Additional Outdoor Space

The MND Project description included conversion of an addition to the 24,000 existing metal building including an addition facing the vineyards to the east for tasting rooms and a future 6,000 square foot farm equipment addition to the south side (Winery Building).

The design refinement reconfigures the interior space by decreasing the size of the distillery in the tasting room addition from 2,276 square feet to 1,360 square feet, allowing for a second roofed outdoor patio to accommodate the continuing social distancing standards required due to the Pandemic.

The L-shaped open patio area will include the existing paved area facing the east vineyard, which would increase the size of the open patio from 1,700 square feet to 3,223.8 square feet, to ensure sufficient open air patio square footage for visitors to the vineyard to social distance. This expansion of the outdoor patio is an area that was proposed to be paved and was part of the impervious surface analyzed in the MND.

The 1,800 square foot metal building located on the south side of the south access road east of the entrance gate will be demolished and will be replaced and relocated with a 1,800 square foot building on the opposite side of the southern access from to be used for vineyard equipment storage. This results in no net change to building area.

Off street Parking

The refined Project includes additional parking spaces to meet the County's requirement of 2.5 parking spaces for special events. For an event of 400 people this would require 160 spaces.

It is proposed that a 48-space primary paved parking lot would be constructed between the Event Center and winery Building, four additional parking spaces would be provided across from the parking lot, six parking spaces would be provided south of the Event Center, four parking spaces would be provided near the Event Center outdoor area and ten parking spaces would be provided adjacent to the Winery Building. An additional 77 parking spaces would be accommodated along the gravel shoulder of the southern driveway which total 149 spaces. An additional 19 spaces can be accommodated in the bus/RV gravel parking area, for a total of 168 spaces, which is eight spaces greater than the 160 spaces required by the Zoning code. The site also has space for eight motorcycles at the west end of the Winery and 11 bicycle parking spaces between the parking lot and Winery building.

Reconfiguration of the south driveway design will provide a new driveway to the metal barn west of the secondary dwelling unit. This new driveway parallels Suisun Valley Road which will require removal of a portion of the existing south driveway and new landscaping between the driveway, the secondary dwelling unit and the existing metal barn that would create usable open space for the tenants of the secondary unit. This will result in a net increase of impervious area by 387 square feet.

Removal of 681 square feet of the previously proposed paved area west of the tasting room addition will off-set the addition to the outdoor patio space.

The difference between the impervious square footage and the original site plan is 294 square feet. The total impervious square footage for the current design is 45,936 square feet compared to the original project of 46,230 square feet. Therefore, the MND conclusion that the increase is less than significant remains valid.

Conclusion: Refinements of the Project design will not alter the proposed uses, increase the number of visitors, or increase the square footage of the proposed addition to the exiting buildings or increase the impervious area of the property analyzed in the MND issued by Solano County July 2021.

The following are revisions to the MND.

1. Page 6, first paragraph, add to the last sentence as follows:

There are also several homes on Stonefield Lane, approximately 2,400 ft west of the proposed Events Center and a home is approximately 2,1000 feet to the east.

2. Page 8, first sentence is revised as follows:

The Project involves the construction of a ~~5,000~~ 6,000 square foot addition facing the vineyards to the east for tasting rooms and a future 6,000 square foot addition farm equipment storage on the south side of an existing 24,000 square foot accessory building.

3. Page 8, fourth sentence is revised as follows:

It also includes a ~~4,700~~ 3,223.8 square foot outdoor patio with an 800 square foot shade structure.

4. Page 8, last sentence is revised as follows:

The project proposes a total of ~~428~~, 168 special event parking spaces that will be located in a new asphaltic concrete parking lot between the buildings and along the existing southern driveway and vineyard.

5. Page 9, first paragraph is revised as follows:

Section ~~28.94~~ 23.73.30 of the Solano County zoning Regulations for Special Events requires at a minimum ration of one space per 2.5 attendees ~~one parking space per four seats of public assembly, or one space for every four people at capacity~~. The maximum event size is 400 seats/people, result in ~~400~~ 160 required spaces. Therefore ~~428~~ 168 parking spaces adequately meet the minimum parking space requirements.

6. Page 9, Parking, is revised as follows:

Multiple parking areas for event guest, staff and visitors are proposed on site. The primary parking area will be developed between the proposed event center and winery/distillery building. This area includes landscaping and will accommodate a new 48 space primary paved lot, parking spaces and is intended to serve the special events component of the project. An additional ~~60~~ 77 parking spaces are proposed along the southern driveway leading from the project out to Suisun Valley Road. 10 parking spaces are proposed adjacent to the winery building. Four additional spaces are proposed near the event center building. In total, ~~447~~ 168 parking spaces will be provided on-site to accommodate both the special events facility and winery/distillery. In addition, the Project includes parking for eight motorcycles at the west end of the Winery and eleven bicycle parking spaces between the parking lot and the Winery building.

7. Page 41, Environmental Setting Noise, add the following to the last sentence in the paragraph as follows:

There are also several homes on Stonefield Lane, approximately 2,400 ft west of the proposed Events Center and a home is approximately 2,1000 feet to the east.

Comments of Richard A. Zimmerman
 Re: Draft Initial Study / Mitigated Negative Declaration (IS/MND) for U-19-08:
 Bally Keal Vineyards, LLC
 August 5, 2021

COMMENTS ON NOISE: IS/MND § 2.12

Comment

The Impact Discussion for Section 2.12, Noise indicates that the potential noise sources in Checklist Items a.) and b.) are less than significant and item c.) has no impact. The Environmental Setting discussion states that the nearest sensitive receptors are residences within the Wilotta Oaks subdivision, ½ mile southeast of the project. The discussion in the IS/MND states that a community noise level of 75 dBA is considered acceptable for agricultural uses. The discussion further states that "(s)ocial gatherings would be held indoors within the events barn and suppress noise levels from extending beyond the parcel boundaries. Outdoor events with DJ or live bands will generate noise, however adherence to Section 28.70.10 of the County Zoning Regulations (*sic*) would prevent offensive noise that exceeds 65dBA LDN at any property line. Less than significant impact."

No.

1

The analysis for Section 2.12, Temporary or Periodic Increase in Ambient Noise Levels, is flawed. Noise is a fugitive trespass once it leaves the boundaries of an event property. It is the most significant environmental effect arising from events centers hosting social events, e.g., weddings, in rural Solano County and is the source of most complaints against such operations. The 65dBA LDN of County Code section 28.70.10 quoted above as the noise standard for social gatherings is an inappropriate 24-hour measure (LDN = Day Evening Night Sound Level, a level similar to a CNEL or Community Noise Equivalent Level) in the section 2.12 discussion

2

First, there is a conflict between the General Plan community maximum noise exposure criteria of 75 dBA for agricultural uses and the maximum noise criteria specifically applicable to a Special Events Facility pursuant to County Code section 28.73.30(B)(6)(a)(5)(ii) which specifies 65 dB for outdoor amplified sound at special events facilities when measured at the property lines. The limit of 75dBA LDN for agricultural sound is applicable to sound generated by agricultural processes, e.g., the generally steady, day-long sound of tractor cultivation, sprayers or harvesting equipment. Outdoor amplified sound is not an agricultural use and should not be subject to LDN averaging over 24 hours. The lower, short interval decibel limit of 65 dB of County Code section 28.73.30(B)(6)(a)(5)(ii) is applicable to this project and should be reflected as the standard in the IS/MND for this project. Noise measurements are subject to frequency weighting and the appropriate measurement for protection against offensive noise is the A weighting, hence the standard is properly defined as 65dBA.

3

The IS/MND discussion indicates that adherence to the applicable noise standard of 65dB in the specifically applicable County Code section 28.73.30(B)(6)(a)(5)(ii), not the general County Code section 28.70.10, is required to ensure that offensive noise does not occur past the property lines. This is an explicit mitigation requirement, and the conclusion is therefore "Less than Significant with Mitigation." The analysis must be corrected to reflect this required mitigation and the specific requirement to conform to County Code section 28.73.30(B)(6)(a)(5)(ii) included as a requirement of any conditional use permit.

4

Proper mitigation of offensive fugitive sound requires confining amplified sound to the interior spaces of the special events center. It is extremely difficult for outdoor amplified music and PA to meet the requirements of County Code section 28.73.30(B)(6)(a)(5)(ii) as problems with sound nuisance from a neighboring special events center, Monroe Ranch LLC, have shown. All amplified sound, music, and general PA, must be confined indoors with only properly controlled PA allowed for outdoor situations where PA does not have to compete with crowd noise, e.g., ceremonies or invocations. Neighboring properties do not need to hear the best man's toast or know that it is time for the first dance. Likewise, quiet enjoyment of a neighboring property does not include trying to converse over a bass-laden dance tune or a DJ's colloquy.

5

Even if the source of amplified sound, e.g., music for dancing, PA for toasts, etc., is confined to the interior of an events center, the structure alone will not adequately suppress fugitive sound unless stringent measures are employed to contain it. Such measures would include vestibule entries and staff to ensure that doors remain closed.

Sensitive residential receptors are much closer to the proposed events center than the ½ mile distance to the Wilotta Oaks subdivision quoted by the IS/MND. There are several homes on Stonefield Ln, approximately 2,400 ft west of the proposed events center and my home is approximately 2,100 feet to the east.

6

The project property also triggers a revised analysis for item 2.12(c), proximity to a private airstrip. This item should be categorized as Potentially Significant Impact. The property is used as a private heliport and hanger. The applicant routinely flies an Enstrom turbine powered helicopter, FAA registration N408C, to and from the property. A turbine powered aircraft engine at tree level greatly exceeds any applicable noise standard measured as dBA.

7

Section 7(B)(14), Noise Generating Operations on Site, states: "Music during events until 11:00 PM". This is in violation of County regulations for special events require that all events cease by 10:00 p.m. and that all guests shall be off the property by 10:30 p.m. (County Code section 28.73.30(B)(6)(a)(4)).

8

COMMENTS ON WASTEWATER: IS/MND § 2.19

The description of wastewater handling in Section 2.19(a) and 2.19(?) is inadequate to make a CEQA determination on the effects of wastewater storage, treatment, and discharge. Section 2.19(a) simply states that wastewater will be handled by an on-site septic system whereas Section 2.19(?) states that a separate domestic wastewater system will be built but gives no information on the winery process wastewater system.

9

All new wineries must comply with the General Waste Discharge Regulations for Winery Process Water (“General Winery Order”) adopted by the State Water Resources Control Board on January 20, 2021. Domestic wastewater (sewage) and winery process wastewater systems cannot be comingled. Without an assessment of the design and capacity of the process wastewater system, a CEQA determination cannot be made. Process wastewater includes wastewater from production, cellaring, and cleaning operations, fermentation by-products including, and stormwater that has been contaminated with production wastes.

10

The winery’s proposed production capacity (> 300,000 gal. wastewater) places it in the third regulatory tier under the General Winery Order. The potentially significant environmental impacts of this volume of wastewater discharge may be mitigated to less than significant impact by compliance with the General Winery Order, the controlling Notice of Applicability, and any mitigation measures adopted by the County.

The CEQA assessment of wastewater discharge pursuant to IS/MNG Section 2.19(a) should be revised to “Less than Significant with Mitigation Incorporated.” Compliance with the General Winery Order must be designated as the necessary mitigation for the CEQA assessment and as a requirement of any conditional use permit.

11

COMMENTS ON HYDROLOGY: IS/MND § 2.10

The assessment of Hydrology in section 2.10 is inadequate and fails to address the presence of the channel of Dan Wilson Creek across the property. Dan Wilson Creek is an ephemeral blue-line creek on the current 1:24,000 USGS map covering the project site and is distinctly noted on the Assessor’s Parcel Map for this property and adjacent properties (see APNs 0027-020-040 & 0027-030-07). Dan Wilson Creek is an ephemeral creek and only runs during significant rainfall. It drains agricultural land adjacent to Suisun Valley Road and then runs at an angle across several parcels, including the project parcel, until it crosses Rockville Road west of the Wilotta Oaks subdivision. The creek acts as a drainage safety valve and fills quickly during heavy rainfall. It often overflows its banks adjacent to Suisun Road

12

and addition of runoff from the increased impervious surfaces of this proposed project will seriously degrade its limited drainage capacity and lead to increased localized flooding upstream.

There is a setback to accommodate the stream bed of Dan Wilson Creek on the adjacent property to the north (APN 0027-020-040) yet there is no such gap in the vineyard planted on the project parcel. The prior owner/developer appears to have graded over the stream bed of Dan Wilson Creek and planted contiguous vineyard without a Streambed Alteration Agreement required by Fish & Wildlife Code section 1602.

13

The existence of Dan Wilson Creek imposes setback requirements on the proposed project. Vegetation and land-use setbacks for the stream bed must be imposed on the proposed project and setbacks required for any subsurface wastewater discharge system (leach lines.)

14

COMMENTS ON STORMWATER DISCHARGE IS/MND § 2.10,

The Stormwater Discharge assessment of the project is inadequate. IS/MND section 1.4, Project Description, states that the new parking lot will be sloped to the southeast and stormwater will be allowed to runoff into the vineyards with the conclusion that a detention pond is not necessary. In contrast, section 2.10 (c), Impacts Discussion, states that stormwater will be contained on-site and released at pre-development rates. These statements are inconsistent.

15

Stormwater runoff to the southeast and directly into the area traversed by Don Wilson Creek will directly impact the drainage capacity of that watercourse. A requirement to design and implement a stormwater discharge plan must be included as a mitigation component of the CEQA hydrology assessment and as a requirement of any conditional use permit.

16

COMMENTS ON TRAFFIC: IS/MND § 2.17

The Applicant's traffic study indicates that a large special event may impede traffic flow on Suisun Valley Rd but concludes that no turn lane, taper lane, or other traffic control is necessary.

17

Unfortunately, this traffic study does not adequately address the cumulative impact of special events and tourist uses on traffic dynamics within Suisun Valley. Future cumulative impacts include existing uses, currently approved but not yet operating uses, and the likely future expansion of both existing and new special events uses. The report's analysis of future traffic demand is based on projections from the Napa-Solano Regional Travel Demand Model for the Year 2040. That travel demand model is a regional model based on population and jobs growth to

18

provide a description of existing travel patterns from which a prediction of future travel patterns can be made. This model is based primarily on overall population growth and does not contemplate or address the recent localized extraordinary expansion of special events uses in Suisun Valley. The travel demand model is inadequate for predicting traffic dynamics resulting from the multiple concurrent events that will occur in Suisun Valley.

The cumulative traffic impacts arising from the recent expansion of events uses in Suisun Valley have not been adequately addressed in any study. Each individual project has been evaluated in isolation, yet all the existing and planned events uses target weekend afternoons and evenings during the warm weather months from May to early October. The traffic impacts of these events concentrated in time and place will be consequential yet the cumulative effect on traffic has not been evaluated for this or any other recently approved special events project in Suisun Valley. In the relatively near future, multiple concurrent events, coupled with population growth and traffic diverting apps such as WAZE, will result in congested conditions throughout Suisun Valley.

19

This project proposes 45 annual special events uses, nearly four times the 12 special events granted to a medium sized winery by ordinance. Such a substantial increase in special events should not be unilaterally granted until, inter alia, a comprehensive traffic analysis evaluating the cumulative impact of all existing, approved, and proposed tourist and special events uses in Suisun Valley has been completed. A comprehensive study is necessary for the Department of Resource Management and the Planning Commission to adequately assess the traffic impacts of all special events and tourist uses within the Suisun Valley Agricultural District.

20

**COMMENTS ON WILLIAMSON ACT COMPLIANCE:
IS /MNDSECTION 2.2 AGRICULTURE AND FORESTRY**

Contrary to the statement under IS/MND 2.2(b), Conflict with Agricultural Zoning or Williamson Act Contract, the conversion of an existing storage building to a stand-alone events center is inconsistent with Solano County Uniform Rules and Procedures Governing Agricultural Preserves and Land Conservation Contracts ("Williamson Act Rules.")

21

Although a winery events facility is a conditionally permitted use within the "A-SV-20" zoning district, a stand-alone events center is inconsistent with Section IV(B)(1) of the County's Williamson Act Rules which states:

"A compatible use must be secondary to the primary use of the land for commercial agricultural purposes. A use is considered secondary when it is required for or is part of the agricultural use."

A stand-alone events center is neither required for nor part of a winery's agricultural operation and is therefore incompatible with the Williamson Act. Compliance requires cancellation of the Williamson Act Contract for either the whole parcel or a divisible portion thereof.

22

The County has been warned in previous comments from the California Department of Conservation, Division of Land Resource Protection that its Williamson Act Rules are inconsistent with the General Plan and the Suisun Valley Strategic Plan. Despite such warning, nothing has been done to correct these inconsistencies.

23

Bally Keal Project U-19-08**RESPONSE TO COMMENTS ON THE MITIGATED NEGATIVE DECLARATION**

This section includes the comments received during circulation of the Draft Mitigated Negative Declaration (MND) for the Bally Keal Project and responses to those comments. Corrections or additional text discussed in the responses to comments are also shown in the text of the Final MND in strikethrough (for deleted text) and underline (for added text) format. Additional minor clarifications and corrections to typographical errors not based on responses to comments may also be shown in strikeout/underline format in the Final MND.

None of these changes introduce significant new information or affect the conclusions of the MND. The MND was circulated for a 30-day public review period July 7, 2021, through August 6, 2021. The County received one comment letter on the Draft MND dated August 5, 2021, from Richard A. Zimmerman.

A copy of the letter is attached and following are responses to the comments.

Comment 1: The impact Discussion for Section 2.12, Noise indicates that the potential noise sources in Checklist Items a.) and b.) are less than significant and item c.) has no impact. The Environmental Setting discussion states that the nearest sensitive receptors are residences within the Wilotta Oaks subdivision, ½ mile southeast of the project. The discussion in the IS/MND states that a community noise level of 75 dBA is considered acceptable for agricultural uses. The discussion further states that “(S)social gatherings would be held indoors within the events barn and suppress noise levels from extending beyond the parcel boundaries. Outdoor events with DJ or live bands will generate noise, however adherence to Section 28.70.010 of the County Zoning Regulations (*sic*) would prevent offensive noise that exceeds 65dBA LDN at any property line, Less than significant impact.”

Response 1: This comment states the information found in the MND and therefore, no response is required.

Comment 2: The analysis for Section 2.12, Temporary or Periodic Increase in Ambient Noise Levels, is flawed. Noise is a fugitive trespass once it leaves the boundaries of an event property. It is the most significant environmental effect arising from events centers hosting social events., e.g., weddings, in rural Solano County and is the source of most complaints against such operations. The 65dBA LDN of County Code Section 28.70.10 quoted above as the noise standard for social gatherings is an inappropriate 24-hour measure (LDN= Day Evening Night Sound Level, a level similar to a CNEL or Community Noise Equivalent Level) in the section 2.121 discussion.

Response 2: The Applicant has agreed to maintain noise levels at the property line at 65 dBA. The Applicant resides at the site and shall ensure that noise levels are met. A

condition (Condition No. 18) is included that no outside vendor will be allowed to bring their own sound/entertainment equipment. Sound equipment will be provided onsite by the Applicant who shall have control over the noise volume. Further, the Special Events will be held in the central portion of the site, which is 79 acres in size. No noise generating special events will occur near any of the property lines, and the area is surrounded by vineyards.

Comment 3: First, there is a conflict between the General Plan community maximum noise exposure criteria of 75 dBA for agricultural uses and the maximum noise criteria specifically applicable to a Special Events Facility pursuant to County Code section 28.73.30 (B)(6)(a)(5)(ii) which specifies 65 dB for outdoor amplified sound at special events facilities when measured at the property lines. The limit of 75 dBA LDN for agricultural sound is applicable to sound generated by agricultural processes, e.g., the generally steady, day-long sound of tractor cultivation, sprayers or harvesting equipment. Outdoor amplified sound is not an agricultural use and should not be subject to LDN averaging over 24-hours. The lower, short interval decibel limit of 65 dB of County Code section 28.73.30(B)(6)(a)(5)(ii) is applicable to this project and should be reflected as the standard in the IS/MND for this project. Noise measurements are subject to frequency weighting and the appropriate measurement for protection against offensive noise is the A weighting, hence the standard is properly defined as 65dBA.

Response 3: This comment is acknowledged. The Applicant will maintain 65 dBA at the property line as a condition of project approval.

Comment 4: The IS/MND discussion indicates that adherence to the applicable noise standard of 65dB is the specifically applicable County Code section 28.73.30(B)(6)(a)(5)(ii), not the general County Code section 28.70.10, is required to ensure that offensive noise does not occur past the property lines. This is an explicit mitigation requirement, and the conclusion is therefore “Less than Significant with Mitigation”. The analysis must be corrected to reflect this required mitigation and the specific requirement to conform to County Code section 28.73.30 (B)(6)(a)(5)(ii) included as a requirement of any conditional use permit.

Response 4: This comment is acknowledged. This section of the code states that public assembly uses related to special events: “**Noise.** *Outdoor amplified sound shall not exceed 65 dB when measured at the property lines., and the Mitigated Negative Declaration has been amended.* However, in response to Comment 3 above, the Applicant has agreed to maintain 65 dBA at the property line, which is more restricted and weighted toward night time hours.

Comment 5: Proper mitigation of offensive fugitive sound requires confining amplified sound to the interior spaces of the special events center. It is extremely difficult for outdoor amplified music and PA to meet the requirements of County code section 28.73.30 (B)(6)(a)(5)(ii) as problems with sound nuisance from a neighboring special events center, Monroe Ranch LLC, have shown. All amplified sound, music and

general PA, must be confined indoors with only properly control PA allowed for outdoor situations where PA does not have to compete with crowd noise., e.g., ceremonies or invocations. Neighboring properties do not need to hear the best man's toast or know that it is time for the first dance. Likewise, quiet enjoyment of a neighboring property does not include trying to converse over a bass-laden dance tune or a DJ's colloquy.

Even if the source of amplified sound, e.g., music for dancing, PA for toasts, etc., is confined to the interior of an events center, the structure allowed will not adequately suppress fugitive sound unless stringent measures are employed to contain it. Such measures would include vestibule entries and staff to ensure that doors remain closed.

Response 5: The Applicant has acknowledged that the sound equipment will be controlled (Condition No. 18).

Comment 6: Sensitive residential receptors are much closer to the proposed events center than the ½ mile distance to the Wilotta Oaks subdivision quoted by the IS/MND. There are several homes on Stonefield Ln, approximately 2,400 ft west of the proposed events center and my home is approximately 2,1000 feet to the east.

Response 6: The MND has been amended to include these nearby residents. It does not change the conclusions.

Comment 7: The project property also triggers a revised analysis for item 2.12(c), proximity to a private airstrip. This item should be categorized as Potentially Significant Impact. The property is used as a private heliport and hanger. The applicant routinely flies an Enstrom turbine powered helicopter, FAA registration N408C, to and from the property. A turbine powered aircraft engine at tree level greatly exceeds any applicable noise standard measured as dBA.

Response 7: The helicopter is an existing use and is not proposed as part of this project. There is no private airstrip which typically refers to runways.

Comment 8: Section 7(B)(14), Noise Generating Operations on Site, states: "Music during events until 11:00 PM". This is in violation of County regulations for special events require that all events cease by 10:00 p.m. and that all guests shall be off the property by 10:30 p.m. (County Code section 28.73(B)(6)(a)(4)).

Response 8: This comment is acknowledged. The MND has been revised to reflect this and Condition No. 10 indicates that events can only occur between 10:00 a.m. at 10:00 p.m.

Comment 9: The description of wastewater handling in Section 2.19(a) and 2.19(?) is inadequate to make a CEQA determination on the effects of wastewater storage, treatment, and discharge. Section 2.19(a) simply states that wastewater will be handled by an on-site septic system whereas Section 2.19(?).

Response 9: The Project is located interior to the 79-acre site. Vineyard surrounds the four buildings that are clustered as a group near the center of the property. The Project

is not located in a 100-year flood plain. The project includes a 6,000 square foot addition to an existing building and therefore, will not significantly increase impervious surfaces, that would result in a significant impact.

Comment 10: A new wineries must comply with the General Waste Discharge Regulations for Winery Discharge Regulations for Winery Process Water (“General Winery Order”) adopted by the State Water Resources Control Board on January 20, 2021. Domestic wastewater (sewage) and winery process wastewater systems cannot be comingled. Without an assessment of the design and capacity of the process wastewater system, a CEQA determination cannot be made. Process wastewater includes wastewater from production, cellaring, and cleaning operations, fermentation by-products including, and stormwater that has been contaminated with production wastes.

The winery’s proposed production capacity (>300,0000 gal. wastewater) places it in the third regulatory tier under the General Winery Order. The potentially significant environmental impacts of this volume of wastewater discharge may be mitigated to less than significant impact by compliance with the General Winery Order, the controlling Notice of Applicability, and any mitigation measures adopted by the county.

Response 10: This comment is noted. The winery is existing. Condition No. 4 requires that the Applicant secure appropriate permits to operate. Condition No. 54 specifically cites the requirement for RWQCB permits. Further, the Applicant submitted a memo dated September 5, 2020 (should have been dated 2021) that states that the septic tank was approved on January 21, 2021, by the County. The wastewater drains into holding tanks and is hauled away for disposal at Oakland’s wastewater treatment center. The construction of the new system has been completed and will not result in any significant impacts.

Comment 11: The CEQA assessment of wastewater discharge pursuant to IS/MNG Section 2.19(a) should be revised to “Less than Significant with Mitigation Incorporated.” Compliance with the General Winery Order must be designated as the necessary mitigation for the CEQA assessment and as a requirement of any conditional use permit.

Response 11: Comment noted. Condition No. 4 requires that the Applicant secure appropriate permits to operate. No changes to the MND are required.

Comment 12: The assessment of Hydrology in section 2.10 is inadequate and fails to address the presence of the channel of Dan Wilson Creek across the property. Dan Wilson Creek is an ephemeral blue-line creek on the current 1:24,000 USGS map covering the project site and is distinctly noted on the Assessor’s Parcel Map for this property and adjacent properties (see APNs 0027-020-040 & 0027-030-07). Dan Wilson Creek is an ephemeral creek and only runs during significant rainfall. It drains agricultural land adjacent to Suisun Valley Road and then runs at an angle across several parcels, including the project parcel, until it crosses Rockville Road west of the

Wilotta Oaks subdivision. The creek acts as a drainage safety valve and fills quickly during heavy rainfall. It often overflows its banks adjacent to Suisun Road and addition of runoff from the increased impervious surfaces of this proposed project will seriously degrade its limited drainage capacity and lead to increased localized flooding upstream.

Response 12: The property is not located in a 100-year flood hazard area. According to the Applicant, the property slopes to the east at about a 6% grade between the Suisun Valley Road and Suisun Creek. The project's engineer has indicated that storm water from the project will be retained onsite with the 63 acres of vineyard.

Comment 13: There is a setback to accommodate the stream bed of Dan Wilson Creek on the adjacent property to the north (APN 0027-020-040) yet there is no such gap in the vineyard planted on the project parcel. The prior owner/developer appears to have graded over the stream bed of Dan Wilson Creek and planted contiguous vineyard without a Streambed Alteration agreement required by Fish & Wildlife Code section 1602.

Response 13: This comment refers to actions of a past property owner and are not part of this proposed Project. The vineyard is existing. Comment noted.

Comment 14: The existence of Dan Wilson Creek imposes setback requirements on the proposed project. Vegetation and land-use setbacks for the stream bed must be imposed on the proposed project and setback required for any subsurface wastewater discharge system (leach lines.).

Response 14: The physical improvements proposed by the Project are substantially setback from Dan Wilson Creek (approximately 100-feet). The Project is located in the center of the 79-acre property. No leach lines are proposed adjacent to the creek.

Comment 15: The Stormwater Discharge assessment of the project is inadequate. IS/MND section 1.4, Project Description, states that the new parking lot will be sloped to the southeast and stormwater will be allowed to runoff into the vineyards with the conclusion that a detention pond is not necessary. In contrast, section 2.10 (c), Impacts Discussion, states that stormwater will be contained on-site and released at pre-development rates. These statements are inconsistent.

Response 15: Both of these statements are correct. Stormwater runoff in the vineyard is part of the 79-acre project site.

Comment 16: Stormwater runoff to the southeast and directly into the area traversed by Don Wilson Creek will directly impact the drainage capacity of that watercourse. A requirement to design and implement a stormwater discharge plan must be included as a mitigation component of the CEQA hydrology assessment and as a requirement of any conditional use permit.

Response 16: Condition No. requires that the Applicant secure all necessary permits.

Comment 17: The Applicant traffic study indicates that a large special event may impede traffic flow on Suisun Valley Rd but concludes that no turn lane, taper lane, or other traffic control is necessary.

Response 17: GHD prepared a traffic analysis dated May 2020 for the Project. This analysis included turning movements. When compared to industry-standard volume threshold regarding installation of left-turn or right-turn lanes on Suisun Valley Road and determined:

- Left-turn lane: The winery and typical sized event volumes would not warrant a separate left-turn lane under existing or cumulative conditions.
- Right-turn lane: the winery volumes, which would reflect the regularly occurring traffic levels associated with the project, would not warrant a right-turn lane.
- Event volumes would not warrant a right-turn lane. The number of events (45 annually) and short time duration (one hour before an event) would not warrant a right turn taper.

Comment 18: Unfortunately, this traffic study does not adequately address the cumulative impact of special events and tourist uses on traffic dynamics within Suisun Valley. Future cumulative impacts include existing uses, currently approved but not yet operating uses, and the likely future expansion of both existing and new special events uses. The report's analysis of future traffic demand is based on projects from the Napa-Solano Regional travel Demand Model for the Year 2040. That travel demand model is a regional model based on population and jobs growth to provide a description of existing travel patterns from which a prediction of future travel patterns can be made. This model is based primarily on overall population growth and does not contemplate or address the recent localized extraordinary expansion of special events uses in Suisun Valley. The travel demand model is inadequate for predicting traffic dynamics resulting from the multiple concurrent events that will occur in Suisun Valley.

Response 18: GHD prepared a traffic analysis (May 2020) that included a cumulative plus project scenario and determined that impacts would be less than significant. According to the study: Using a regional demand model is an acceptable model to determine impacts and the traffic consultant applied a 2.1 percent per year to conservatively estimate future traffic volumes. Operations would remain acceptable. If future traffic volumes increase to forecast levels, cumulative-without-project operations at the Suisun Valley Road/Rockville Road intersection reflect LOS D conditions during the weekday PM peak hour. However, LOS would remain unchanged with the added project trips, therefore the project trips would represent a less than significant impact. The project driveway intersections would operate at LOS C or better.

Comment 19: The cumulative traffic impacts arising from the recent expansion of events uses in the Suisun Valley have not been adequately addressed in any study. Each individual project has been evaluated in isolation, yet all the existing and planned events uses target weekend afternoons and evenings during the warm weather months

from Many to early October. The traffic impacts of these events concentrated in time and place will be consequential yet the cumulative effect on traffic has not been evaluated for this or any other recently approved special events project in Suisun Valley. In the relatively near future, multiple concurrent events, couple with population growth and traffic diverting apps such as WAZE, will result in congested conditions throughout Suisun Valley.

Response 19: The proposed Project included a cumulative traffic analysis which adequately addressed cumulative impacts. Event centers typically occur at non-commute times and not all events would occur at exactly the same day and/or time. Even if most events occur on a Saturday, they will have start and end times that occur throughout the day. If anything, traffic diverting apps will ensure that multiple routes are used, and congestion is avoided.

Comment 20: This project proposes 45 annual special events uses, nearly four times the 12 special events granted to a medium sized winery by ordinance. Such a substantial increase in special events should not be unilaterally granted until, in addition, a comprehensive traffic analysis evaluating the cumulative impact of all existing, approved, and proposed tourist and special events uses in Suisun Valley has been completed. A comprehensive study is necessary for the Department of Resource Management and the Planning Commission to adequately assess the traffic impacts of all special events and tourist uses within the Suisun Valley Agricultural District.

Response 21: As indicated GHD prepared a comprehensive traffic analysis, including cumulative traffic. A vehicle mile traveled (VMT) traffic analysis was also prepared (dated March 12, 2021). Special events up to 45 times a year are analyzed in the Use Permit. Conditions are included to ensure that impacts are less than significant.

Comment 22: Contrary to the statement under IS/MND 2.2(b), Conflict with Agricultural Zoning or Williamson Act Contract, the conversion of an existing storage building to a stand-alone events center is inconsistent with the Solano County Uniform Rules and Procedures Governing Agricultural preserves and Land Conservation Contracts (“Williamson Act Rules.”)

Although a winery events facility is a conditionally permitted use within the “A-SV’20” zoning district, a stand-alone events center is inconsistent with Section IV(B)(1) of the County’s Williamson Act Rules which states:

“A compatible use must be secondary to the primary use of the land for commercial agricultural purposes. A use is considered secondary when it is required for or is part of the agricultural use.”

Response 22: The use is allowed with a conditional use permit, which allows conditions to ensure that the use remains compatible. Event centers are consistent with the Suisun Valley Strategic Plan which strives to increase tourist and economic opportunities. The event center is an accessory use of an existing building that will

promote the wines produced at the winery. Further, 45 events are less than one event per week and will not remove adjacent land from agricultural use or lessen the amount of open space in the county. The Williamson Act contract covers a portion of the 79-acre site and excludes the proposed event center location.

Comment 23: A stand-alone events center is neither required for nor part of a winery's agricultural operation and is therefore incompatible with the Williamson Act. Compliance requires cancellation of the Williamson Act Contract for either the whole parcel or a divisible portion thereof.

The County has been warned in previous comments from the California Department of Conservation, Division of Land Resource protection that the Williamson Act Rules are inconsistent with the General Plan and the Suisun Valley Strategic Plan. Despite such warning, nothing has been done to correct these inconsistencies.

Response 23: As described above, the County considers event centers appropriate land uses with a use permit for properties zoned agricultural. The Williamson Act contract on the subject property covers 73 acres of the 79 acres, and therefore, excludes the acreage that the event center and existing residential use are on.

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October 1, 2021

Commissioner Paula Bauer
Chair of Solano County Planning Commission
Department of Resource Management
675 Texas Street, Suite 5500
Fairfield, CA 94533

Subject: Bally Keal Winery – Use Permit Application No. U-19-08

Dear Commissioner Bauer:

Our office represents Bally Keal Vineyards LLC ("Vineyard") and Joseph P. Cassidy who is the managing member ("Applicant"). The Vineyard property ("Property") consists of 79.29 acres of which 63 acres has been cultivated with cabernet sauvignon grapes continuously since 1978 and 73 acres is subject to the Williamson Act. On or about June 19, 2019, the Applicant submitted a Use Permit Application no. U-19-08 ("Application") to convert the warehouse building to a winery/distillery/and future brewery facility with tasting rooms and finished product storage and the storage building to an Event Center, an Agritourism Facility, (collectively "Project").

Specifically, the Project will renovate, convert, and expand the existing 24,000 square foot ("sq. ft.") warehouse building by 6,000 sq. ft. to the east of the building for a new winery/distillery and future brewery facility ("Winery Building") with tasting rooms, associated outdoor patios and a future 6,000 sq. ft. vineyard equipment storage shed on the south side of the building. Upon completion of the Winery processing facility, the Vineyard will have an ultimate annual production capacity of approximately 90,000 gallons. The existing 12,000 sq. ft. accessory storage building will be converted to an Event Center with a landscaped outdoor event area. One of two existing 1,800 sq. ft. metal warehouse buildings will be demolished and replaced across the south access road to store vineyard related inventory. Aerial photographs of the Vineyard, Site Plan, and Floor Plans, Elevations and Sections are attached hereto as **Exhibit 1**.

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The Solano County Department of Resource Management ("Department") issued a Final Mitigated Negative Declaration for the Project ("FMND"). The Planning Commission ("Commission") has scheduled a hearing to act on the Applicant's Use Permit Application on October 21, 2021. After the duly conducted public hearing, consideration of public testimony, information in the FMND, and the recommendation of the Department, the Commission will act on the Application for the Project. A copy of the FMND is included in your staff report for the Use Permit Application hearing.

THE PROJECT SITE

The Property is located at 4286 Suisun Valley Road between Rockville and Mankas Corner, which is approximately one mile from the border of the City of Vacaville. The Property is in a Suisun Valley Agricultural ASV-20 (Agricultural Suisun Valley – 20 acre) zoning district, designated "Agriculture" by the Solano General Plan ("Solano GP"). The Property has 1,877.07' of Suisun Valley Road frontage, a depth of 1,576' at the northern property line 2,516' at the southern property line¹ and a negative slope of less than 6% towards the rear property line.

Suisun Valley Road is a rural two-lane roadway with unimproved shoulders and no bicycle lane. The uses along Suisun Valley Road are mostly agricultural with limited residential, commercial, institutional, and educational uses.² The Property is surrounded by agricultural uses to the north, south, and beyond Suisun Creek, which is the east property line. Across Suisun Valley Road from the southern portion of the Property is the Rockville Cemetery. The nearest residence is approximately 2,000 feet to the northeast of the proposed Event Center on the east side of Suisun Creek.

Page AG-24 of Chapter III of Solano GP, Agricultural Chapter describes the goals and policies specific to Suisun Valley as:

"Suisun Valley is located between Fairfield and Cordelia, east of the Napa Hills, and south of the Napa County border. Most land in this area is in agricultural use, producing grapes for wine, small grains, or other fruit crops. Three intersections in this area contain commercial establishments: Mankas Corner, Rockville Corner, and Rockville Road/I-80. *Suisun Valley could provide a unique opportunity for the County to promote agritourism, specifically as a destination for visitors interested in local wine production, farm stands, and rural atmosphere while avoiding the traffic of the nearby Napa and Sonoma areas. The area was*

¹ Solano County has a total of 852,255 acres of land of which 329,076 acre (or 56.5% of the total or 70% of the unincorporated area of the County).

² A commercial area is within half of mile to the south. There is single-family home residential neighborhood to the south on Rockville Road. Suisun Valley Inn is approximately 1/2 mile to the north.

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part of a special study area and was the focus of a community workshop planning process." (*Emphasis Added.*)

Two driveways provide access to the Property – the northern driveway serves the owner's private residence, an accessory garage and the 12,000 sq. ft. storage building, while the southern driveway serves four (4) existing accessory buildings on the Property. The two access roads connect providing a U-shape continuous circulation to Suisun Valley Road. See **Exhibit 1** and **Exhibit 2** for Photographs of the entrance gates to the Property and the access roads described above.

There are seven (7) existing buildings on the Property:

1. The original 1,600 sq. ft single family home is near the southern entrance ("Secondary Dwelling Unit"). A photograph of the secondary dwelling unit is attached hereto as **Exhibit 3**.
2. A 1,800 sq. ft. accessory metal structure ("Metal Barn") east of the secondary dwelling unit is used by the tenant of the residence for parking and storage. A photograph of the Metal Barn is attached hereto as **Exhibit 4**.
3. The 1,800 sq. ft metal warehouse for storage of vineyard equipment ("Metal Warehouse") is located on the south side of the southern driveway east of the entrance gate. Photographs of the Existing 1800 sq. ft metal warehouse proposed to be demolished are attached hereto as **Exhibit 5**.
4. A 24,000 sq. ft metal warehouse is located at end of the southern driveway is used for vineyard related storage including but not limited to tractors and related attachments. Photographs of the existing 24,000 sq. Ft. metal warehouse is attached hereto as **Exhibit 6**.
5. A 12,000 sq. ft. storage building was constructed to store the previous owner's car collection storage building and used for occasional parties is located southeast of the private residence and east of the storage building. Photographs of the Existing 12,000 sq. Ft. storage building is attached hereto as **Exhibit 7**.
6. The 8,000 sq. ft. detached storage garage for the private residence is accessed from the northern access road. A photograph of the 8,000 sq. ft. detached storage garage attached hereto as **Exhibit 8**.
7. The 19,008.5 sq. ft. private residence ("primary dwelling unit"), accessed from the northern driveway, will continue to be occupied by the current owner and his guests. A photograph of the Primary Dwelling Unit is attached hereto as **Exhibit 9**.

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Both the primary and secondary dwelling units on the Property met the dwelling unit size and setback requirements of Solano County's General Development Standards at the time they were constructed. All accessory buildings are either setback in excess of the development requirements set forth in Section 28.21.30, Table 28.21C or are lawful non-complying structures.

The additional project related impervious area is mainly located in the approximate middle of the Property that is currently developed with buildings described above and the widening the southern access road to 22'. The total 221,586 sq. ft. (5.09 acres) of impervious area of the Project is surrounded by cultivated vineyard. The Project will not decrease the amount of agricultural land subject to the Williamson Act.

PROJECT DESCRIPTION

The Project is the conversion and addition to the 24,000 sq. ft. metal warehouse to a Winery and conversion of the 12,000 sq. ft. storage building to an Event Center, infrastructure upgrades, new landscaping and signage. A detailed discussion of the building on the Property and the Project is below.

1. ***The existing Metal Barn east of the secondary dwelling unit and the Secondary Dwelling Unit.***

The tenant of the secondary dwelling unit will continue to use *the Metal Barn* by for off-street parking and storage. There will be no renovation of either building.

2. ***Demolition and replacement of the existing 1,800 sq. ft. Metal Warehouse and reconfiguration of the south driveway to the entrance gate and beyond.***

The existing 1,800 sq. ft. Metal Warehouse near the southern access gate was proposed to be demolished in the project description in the PDMN. However, the refined project design will replace the demolished Metal Warehouse with a like-kind replacement building for indoor storage of tractor and vineyard related equipment on the north side of the southern access road. The use, the footprint and square footage of the replacement building will be the same as the demolished 1,800 sq. ft. existing building. See **Exhibit 1**, Sheet AS-1.2 for the Partial site Plan showing the reconfigured south driveway to the Vineyard.

3. ***Reconfiguration and landscaping of the south driveway and the southern access road.***

The reconfigured south driveway will separate the vehicular entrance to the Secondary Dwelling Unit and the Metal Barn from the entrance to the southern access road. Planting new trees on both sides of the south driveway and other landscaping from Suisun Valley Road to the southern entrance gate will create a screened private usable open space for the Secondary

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Dwelling Unit and lessen any visual impact from the relocated 1800 sq ft Metal Warehouse. There will be new landscaping adjacent to the Winery building, parking lot, Event Center, and the southern driveway. This reconfiguration will not increase the total impervious area of the Project. See **Exhibit 1**, Sheet AS-1.2 for the Partial site Plan and **Exhibit 10** for Project impervious area calculations.

4. ***Winery Building.***

The 24,000 square foot (120'x200') metal storage warehouse will be converted for winery, distillery and future brewery use with a 6,000 sq. ft. (50'x120') tasting room addition facing the vineyards to the east. Construction of a 6,000 sq. ft. (30' x 200') addition to the south wall of the winery building will house vineyard and future winery/distillery/brewery equipment and supplies when renovation of the winery building is completed. Upon completion, the winery building will have a total of 36,000 sq. ft. See **Exhibit 1**, Sheet A-1.2.

Due to Pandemic distancing requirements, a second roofed outdoor patio will be created by reducing the size of the distillery from 2,276 sq. ft to 1,360 sq. ft. The roofed outdoor patios are located within the 6,000 sq. ft. tasting room addition east of the existing building and will not be visible from Suisun Valley Road. The Project sponsor has also concluded that since required social distancing has become the new norm, it would be prudent to increase the width of the size of L-shape open patio from 1,700 sq. ft. to 3,223.8 sq. ft. by repurposing the existing paved area facing the vineyard to the east. As will be fully discussed in Section 6 below, expansion of the outdoor patio area will not decrease the square footage of impervious surface as stated in the PMND.

This medium size winery has projected production of up to 90,000 gallons of wine and distilled spirits, of which approximately 26,000 gallons will be from grapes grown on the Property. The Winery will crush, ferment, barrel age, bottle and warehouse finished wine and distilled spirits onsite. The 24,000 sq. ft. Winery building with two 6,000 sq. ft. additions as described above is identical to the 36,000 sq. ft. Winery building analyzed in the PMND. The Distillery is anticipated to produce between 3,000 to 4,000 gallons of distilled spirits, such as grape based Brandy, Grappa, and Eau de vie, or other fruit and grain based distilled spirits, such as Rum, Tequila, Whiskey, and Gin. The equipment required for distilling will also be used for the future brewery allowing the use of the equipment throughout the year. The Project sponsor projects that the future brewery would produce up to 4,000 gallons of craft beer. The future brewery will experiment with the use of by-products from the winery and distillery in their recipes.

The Winery facility will operate between the hours of 8:00 am and 6:00 pm, seven days a week, except during harvest. Tasting room hours are projected to be from 11:00 a.m. to 5:00 p.m. daily and will be closed to the public on event days and some holidays. In addition to the

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current vineyard, it is projected that there will be an additional five full-time equivalent employees to staff the Winery and winery/distillery/future brewery tasting rooms. See Exhibit 1, Sheet A-1.2 for floor plan of the Winery.

5. ***Renovation of the 12,000 sq. ft. Storage Building to an Event Center.***

The Project will convert the 12,000 sq. ft. (100' x 120') storage building to an Event Center with an outdoor space for weddings, corporate or charity events, private gatherings, and family celebrations. All events will take place in the Event Center and its associated outdoor patio and/or the existing lawn area behind the primary dwelling unit. The north end of the lawn area behind the primary dwelling unit will be re-sodded. If the sponsor of a special event requests its caterer to include facility tours and/or tasting, the caterer will contact manager of the Winery to arrange for the time for a tour and/or the tasting rooms. Such a tour/tasting will be available only for the attendees of that event during a specific period time.

There will be a maximum of 45 events annually, with 10 events for up to 100 people, 25 events for up to 200 people, and 10 events for up to 400 people. Most events will be held between the hours of noon to 10 p.m., predominately between Thursday and Sunday. A licensed caterer will provide and serve food and drink for all events. The contract for events with 200 or more attendees will require the Event Sponsor to contract with an attendant parking service.

Events using amplified sound outdoors will use temporary speakers directed inward towards the center of the Event Centers' outdoor space. Event contracts will require the event sponsor to use the sound system provided by the Applicant and to limit amplified sound to 65 dBA or less. All outdoor lighting will be down lighting that provides sufficient light intensity necessary to illuminate events as they take place. With the nearest sensitive receptor being 2,000 feet away, event center down lighting and a 65 dBA sound limit for events will not generate offensive glare or excessive noise to residents in the project vicinity. See page 41 of PMND. None of the revisions discussed above will invalidate any conclusion stated in the PMND. The PMND with revisions addressing the public comments has been adopted as the FMND by your staff.

6. ***The Current Project Will Decrease The Impervious Surface Analyzed in the PMND.***

The south driveway entrance to the secondary dwelling unit will be reconfigured to be west of the house paralleling Suisun Valley Road with a 90° right turn just north of the Secondary Dwelling Unit that continues eastward to the existing Metal Barn. The added impervious surface from the reconfigured driveway will be offset by the decrease of paved area from new landscaping north of the south driveway and the paved patio for the winery's tasting rooms discussed above. The difference between the impervious surface at the rear of the "tasting room addition and of the new access drive way to the secondary dwelling unit's garage (the metal

Commissioner Bauer
Bally Keal Winery & Even Center
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barn) is 294 sq. ft. less than the design submitted in the Use Permit Application plans. See **Exhibit 10** attached hereto for a copy of the site plan with impervious calculations. The 1,800 sq. ft. footprint of the new metal storage building on the north side of the southern access road is equivalent to the demolished 1,800 sq. ft. existing metal storage building on the opposite side of the southern access road. Therefore, replacement of a like-kind metal building will not increase of impervious area. Any change to the impervious area from the design refinement discussed above is negligible for this 79.29 acre parcel and will not change the conclusions stated in the Final MND (“FMND”) issued by the Department in July 2021.

7. *Off Street Parking*

Solano County Zoning Regulations (section 28.94.A)³ for off-street parking requires one parking space per four seats of public assembly, or one space for every four people at capacity, plus two spaces for the primary residence and one space for the secondary residence. The primary and secondary dwelling units each have parking spaces in excess of the Zoning Regulation requirements (more than 2 for the primary residence and more than 1 for the secondary residence). The Event Center parking requirement equates to 100 spaces for a maximum 400-attendee event.

The Project provides a new primary parking area with a 48-space asphalt/concrete parking lot constructed between the proposed Event Center and the Winery building. There will be four (4) parking spaces across from the parking lot, six (6) parking spaces south of the Event Center, four (4) parking spaces near the Event Center outdoor area, and 10 parking spaces adjacent to the Winery Building. In addition to these 72 spaces described above there will be 77 parking spaces along the gravel shoulder of the southern driveway. These 149 parking spaces are more than the 100 required spaces for a 400-attendee event.

The “Focused Traffic Impact Analysis” by GHD, which is Appendices E and F of the FMND, estimated a parking demand of 160 vehicles for a 400-attendee event. The existing gravel bus/RV parking area east of the existing barn and the secondary dwelling unit can accommodate an additional 19 vehicles bringing the total available parking to more than 160 spaces meeting the estimated parking demand of the GHD traffic impact analysis. The Project also includes parking for 8 motorcycles at the west end of the Winery and 11 bicycle parking spaces between the parking lot and the Winery building. See **Exhibit 1**, Sheet AS-1.2 for Partial site Plan for the locations of the parking spaces.

³ All references to Section numbers are to the Solano County Zoning Regulations unless otherwise specified.

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8. ***On-Site Circulation***

For events with over 200 attendees, the vehicle access pattern will become one-way travel with ingress via the north driveway and egress via the south driveway to minimize queuing on Suisun Valley Road. Contracts for these events will require the sponsor to engage the service of an attendant parking contractor to supervise and expedite guest parking to ensure there will be no queuing on Suisun Valley Road.

9. ***Infrastructure Improvements***

As shown in the plans for the PMND approved project, the Project Applicant will improve and widen the southern access road to 22' to accommodate emergency vehicles. A septic system with increased capacity to meet the added demand of the Winery and the Event Center will replace the existing septic system. A new wastewater treatment system will be utilized to process wastewater. The fire sprinklers will be upgraded to meet the Code requirements demand for the Winery and the Event Center facilities. Water supply lines for the potable and fire-prevention water will be upgraded to accommodate the additional uses. The PG&E service will be increased from the existing 400 amp service to 1600A, 120/208V, 3PH based by the Project's consulting engineer ACG Engineers, Inc. that specialized in electrical engineering services. The Project sponsor has installed solar panels on the roof of the winery building to reduce the Projects carbon footprint.

**THE FINAL MND ISSUED BY THE COUNTY
IS LEGALLY SUFFICIENT UNDER CEQA**

As demonstrated above, the minor design refinements will not alter the proposed use or increase the square footage of the proposed additions to the winery and event center buildings, or increase the impervious area of the Property as stated in the PMND by the County dated July 2021. After publication of the PMND, the County received comments from the California Department of Fish and Wild Life and a comment by the County regarding services provided by PG&E. The July PMND was amended to include additional mitigation measures addressing the comment from Department of Fish and Wild Life and the responses from ACG Engineers and PG&. The amended July PMND was re-circulated for 30-days. On August 5, 2021, the day prior to the end of the recirculation period, Richard Zimmerman submitted a comment letter on the amended PMND. After reviewing Mr. Zimmerman's comments, the County determined that his comments either has been addressed in the FMND or were without merit and published the FMND that is before this Commission.

The Project Sponsor agrees with the County's Department of Resource Management that the amended PMND, which was re-circulated to the public, is legally adequate under CEQA and

Commissioner Bauer
 Bally Keal Winery & Event Center
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should be certified by this Commission. Therefore, the design refinements will not alter the Project's environmental review conclusions in the FMND and the conditions of approval which will be imposed on the project will further address an lessen any non-significant impact of the Project.

**THE PROJECT MEETS THE CRITERIA OF
 A MEDIUM SIZE WINERY.**

Article 28, Section 28.21.020 governs allowed uses and permit requirements. Table 28.21A (Table of Allowed Uses) specifies the allowable use and permit requirements for various zoning uses. There are four categories of Agricultural Use. The Project located in an A-20 zone complies with the general requirement of Section 28.71.20(a.1) in that:

1. ***Trucking access shall not interfere with normal traffic***

The length of the 22' wide southern access road from the front property line to the Winery is approximately 1,050, This length will provide more than sufficient area for visitor and truck queuing thereby avoiding interference with traffic on Suisan Valley Road. For events with 200 to 400 attendees, an onsite attendant parking contractor and the one-way circulation pattern described above, entering through the northern access road and exiting from the south access road will provide 2,000'+ of queuing for vehicles entering the events.

2. ***Processing facilities may be located on a private road only if there is a recorded maintenance agreement executed by all lot owners served by the private road***

The Vineyard is adjacent to Suisun Valley Road. However, both entrances are gated so the private access roads serve only the owner's residence, Bally Keal Vineyard staff, vendors, and visitors to Winery Building and the Event Center.

3. ***Storm water shall be managed to prevent any processing wastes or by-products from entering any natural or constructed storm water facility or canal, creek, lake, pond, stream or river***

By-products from wine making will be used for distilled spirits. All processing waste will be composted on site to fertilize the vineyard and landscaping.

The new parking lot and patios will be sloped to ensure that storm water is directed into the vineyards, which will not change the drainage of the existing impervious area. The Project will not cause storm water to enter into Suisan Creek.

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The Project meets the additional criteria for a "Medium Size Winery" set forth in Section 28.71.20(B).3(b) in that:

1. *Shall obtain Environmental Health Services Division of the Department of Resource Management, and Fire Department approval, if required, and notify the Sheriff's Office prior to hosting special events*

The Applicant, his designee, facility manager, or event operator will obtain all applicable approvals from the Solano County's Environmental Health Services Division of Resource Management, Fire Department and will notify the Sheriff's Office prior to hosting any special events.

2. *The winery operator shall report at the end of each calendar year to the department of resource management the total gallons of wine produced, in bulk and bottles combined, during the calendar year. Such reporting may alternatively include proof of payment of the annual license renewal fee to the Department of Alcoholic Beverage Control (ABC), including the dollar amount of the fee paid.*

The Applicant will submit an annual report to the Department of Resource Management declaring the source(s) and amount of beverages produced, that may include proof of payment of the annual license renewal fee to the State Department of Alcoholic Beverage Control ("ABC") and the amount of fee paid.

3. *A wine tasting and sales area must be no larger than 2,000 square feet or 30% of the Winery processing facilities.*

The 2190 sq. ft. for sales and tasting (1,468 sf. ft. wine tasting room and the 722 sq. ft. distillery tasting room) is far below the limit of 9,000 sq. ft. (30% of the 30,000 sq. ft. the facility).

**THE PROJECT MEETS THE CRITERIA
 FOR GRANTING A MINOR USE PERMIT**

Article II, Section 28.106 governs Use Permits which may be approved by the Zoning Administrator or the Planning Commission after a public hearing (Section 28.106F and G) The Zoning Administrator or Planning Commission must find that the application before it meets the three criteria for a Use Permit set forth in Section 28.106H. The Application for a Use Permit to construct a medium size winery and an event center in two of the existing buildings on Site meets all three criteria in Section 28.106H in that:

Commissioner Bauer
 Bally Keal Winery & Even Center
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1. ***That the establishment, maintenance or operation of a use or building applied for are in conformity to the general plan for the County with regard to traffic circulation, population densities, and distribution, and other aspects of the general plan considered by the zoning administrator or planning commission to be pertinent.***

The Property is located in Suisun Valley, which is designated in the Solano General Plan ("County GP") as "Agricultural" in the Land Use Diagram (see County GC, Chapter 2, Figure LU-1) and "Prime Farmland" (See County GC, Chapter 3, Figure AG-1. Prime Farmland is described as land with "the best combination of physical and chemical features able to sustain long term agricultural production with the "soil quality, growing season, and moisture supply needed to produce sustained high yields." As Prime Farmland, the Site is also subject to The California Land Conservation Act of 1965 ("the Williamson Act). See County GP, Chapter 3, Agriculture, pages AG-4. The Property has been the subject of a Williamson Act contract since 1968. The policy for Suisun Valley as provision of agricultural production, agricultural processing facilities, includes facilities to support the sale of produce, and tourist services that are ancillary to agricultural production. See GP, Chapter 3, Figure AG-3.

The Use Permit Application before this Commission will continue a vineyard operation under the William Act that has been in existence since 1968. Expansion of the Vineyard use to include a Winery/Distillery/Brewery and event center is a logical ancillary agritourism use⁴. This Project proposes to convert an underused 24,000 sq. ft. warehouse to a Winery/Distillery/Brewery and a 12,000 sq. ft. car collection storage building into an event center will contribute to the Solano County General Plan's objectives related to economic development and increasing Agritourism. Therefore, this Use Permit Application is consistent with and will promote the Goals policies of the County GP as stated in AR.G-1, 2, 5, 6, 7 and 8 and AR.P-1,2, 3, 8, 9, 12, and 23. See GP, Chapter 3, pp. 28-30.
or are being provided.

2. ***That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.***

The southern access road will be widened to 22' to meet emergency vehicle access requirements. The Project's domestic water use and for the fire suppression will continue to be provided by the City of Vallejo. The Event Center Building, which was constructed after 2002, has an 8" water line for fire suppression. The Property is and will continue to be served with two potable water wells. The Suisun-Solano Water Authority provides water for irrigation.

⁴ The Land Use Chapter of the County General Plan states: "Limited tourism-supporting commercial uses (such as restaurants galleries, and wine tasting rooms) currently exist in the area. The majority of land in this area is currently under Williamson Act contracts, and falls under the County's Orderly Growth Initiative, restricting land use changes for agriculturally-designated lands. Based on the growth controls and Williamson Act conditions, there is limited potential for the wineries to include ancillary tourism-related uses on their properties."

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All fire sprinklers, smoke and fire alarm systems and other related systems will be updated or installed to meet current Fire Code requirements. All necessary infrastructure improvements are included as part of the project. Please refer to Paragraph 9, Infrastructure Improvements for addition discussion.

3. **That applicant exhibits proof that such use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County; provided, that if any proposed building or use is necessary for the public health, safety or general welfare, that finding shall be to that effect.**

The FMND analyzed the impact of twenty (20) environmental checklist impacts. Except for air quality, biological resources, greenhouse gas emissions, transportation and traffic, the FMND found that the Project has no other impacts or less than significant impacts on the environment. With mitigation measures imposed, the potential adverse impacts on air quality, biological resources, noise, greenhouse gas emissions, and transportation and traffic would be reduced to less significant levels. The Applicant executed an agreement to implement the required mitigation measures set forth in the FMND. Therefore, the Project would not be a nuisance or be detrimental to the public health, safety, peace, morals, comfort or general welfare of the persons residing or working in, tourists or other visitors to the Property.

The Project Site Section above discusses the Project's consistency with goals and policies of the Solano County General Plans and how the Project will preserve and continue the use of the Property for agricultural uses. The Project, if approved, will encourage and promote Agritourism in the County. Also discussed above, the renovation and expansion of the existing buildings for the Project that are located in the center of this 79+ acre parcel will provide more than a sufficient buffer from any noise on its neighbors or the public. Thus, the Project will not be injurious or detrimental to any property, neighborhood improvement or to the general welfare of the County.

Based on the above analysis, the Project and Use is consistent with all the criteria required for approval of a Use Permit for a Winery and Event Center.

CONCLUSION

The Project before this Commission complies with all the applicable Zoning Regulations and Solano County's Recognition that the *"Suisun Valley could provide a unique opportunity for the County to promote agritourism, specifically as a destination for visitors interested in local*

Commissioner Bauer
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wine production," while avoiding the traffic of the nearby Napa and Sonoma areas. The Bally Keal Vineyard has been in existence for 53 years. The vineyard has been leased to others to sell the harvest as they see fit. The Applicant submits this Use Permit for winery in order for the Cabernet Sauvignon grapes grown on the Property can be crushed, fermented and bottled as an Estate Wine under the vineyard's own label. The Winery and Event center will promote and bring visitors to Suisun Valley as an Agritourism destination. Therefore, the Project will promote the General Plan's objectives and polices that directs the growth of Suisun Valley and to maintain the farmlands in the area for agricultural use. We urge this Commission to adopt your staff's recommendation and approve this Use Permit Application with the proposed Conditions of Approval.

Very truly yours,

Duane Morris LP


Alice Suet Yee Barkley

Encl: Exhibits 1-10

CC: Commissioner Kay Cayler, Vice Chair
Commissioner Loretta Gaddies
Commissioner Michael Reagan
Commissioner Kelly Rhoads-Poston
Terry Schmidtbauer, Director of Resource Management
Allan Calder, Planning Manager
James H. Leland, Principal Planner
Kathy Pease
Joe Cassidy
Paul Friend

Commissioner Bauer
Bally Keal Winery & Even Center
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TABLE OF EXHIBITS

- | | |
|--------------------|---|
| Exhibit 1 | Aerial photographs of the Vineyard, Site Plan, and Floor Plans, Elevations and Sections . |
| Exhibit 2 | Photographs of the entrances to the property and access roads. |
| Exhibit 3 | Photograph of the secondary dwelling unit |
| Exhibit 4 | Photographs of the existing 1,800 sq. ft. metal barn behind the secondary dwelling unit. |
| Exhibit 5 | Photographs of the Existing 1800 sq. ft metal warehouse proposed to be demolished |
| Exhibit 6 | Photographs of the 24,000 sq. ft. metal warehouse. |
| Exhibit 7 | Photographs of the 12,000 sq. ft storage building. |
| Exhibit 8
unit. | Photograph of the 8,000 sf. ft. detached storage building for the primary dwelling |
| Exhibit9 | Photograph Of the 22,000 sq. ft. primary dwelling unit. |
| Exhibit 10 | Site plan with impervious calculation by the architect for the FMND |

EXHIBIT 1

3/16/2021

Google Maps

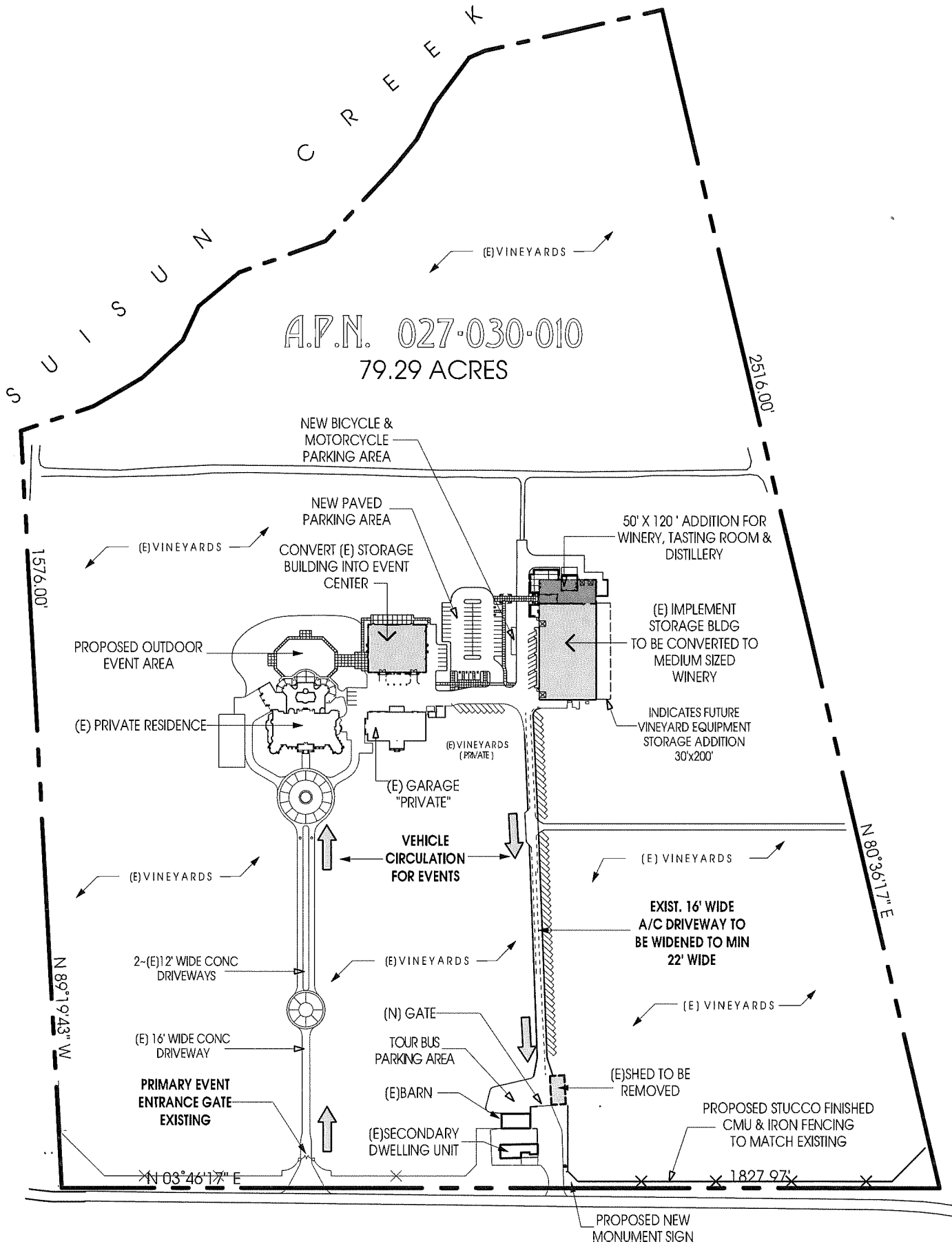
Google Maps



Imagery ©2021 Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021 200 ft







BALLY KEAL SITE PLAN



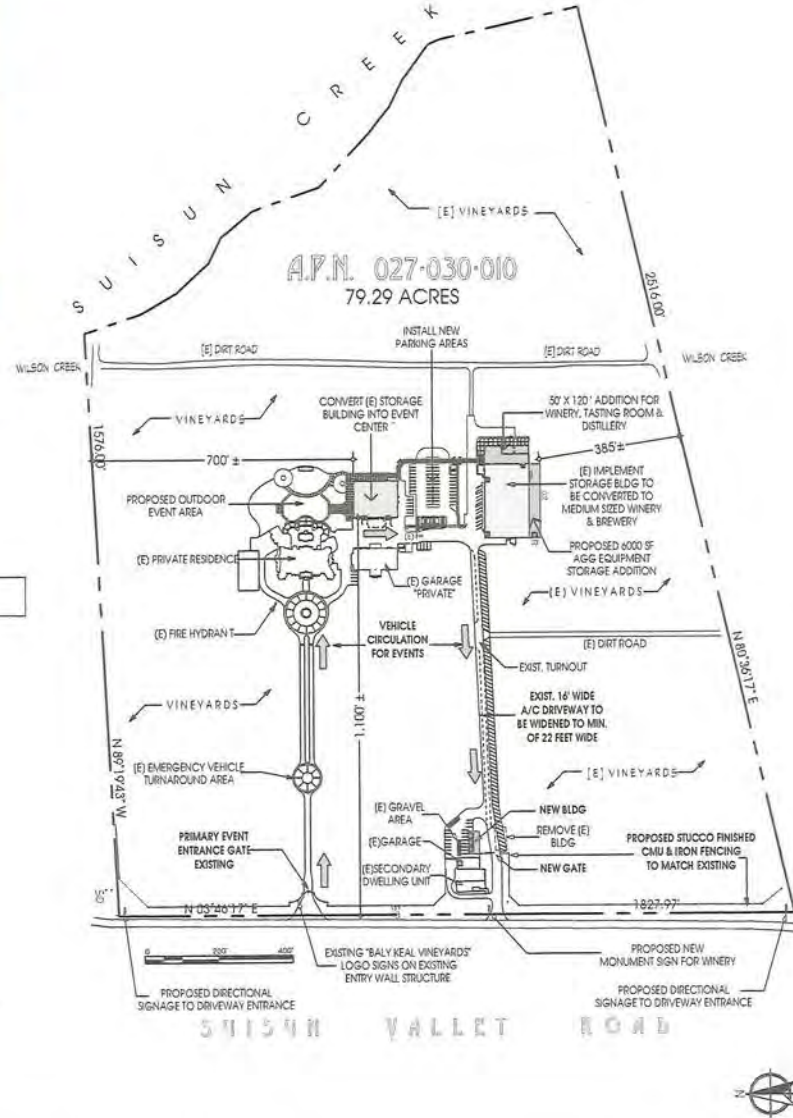


**PROPOSED
SPECIAL EVENTS FACILITY
WINERY & DISTILLERY
BALLY KEAL VINEYARDS**

**4286 SUISUN VALLEY ROAD
FOR: MR. JOE CASSIDY**

**CONVERSION OF EXISTING BUILDING INTO
A SPECIAL EVENTS FACILITY & ADDITION OF A NEW
WINERY & DISTILLERY TO AN EXISTING BUILDING**

**APN 027-030-010
A-SV20 SUISUN VALLEY AGRICULTURAL DISTRICT
WILLIAMSON ACT CONTRACT No. 116
79.29 ACRES**



OVERALL SITE PLAN
Scale: 1" = 200'



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Revisions

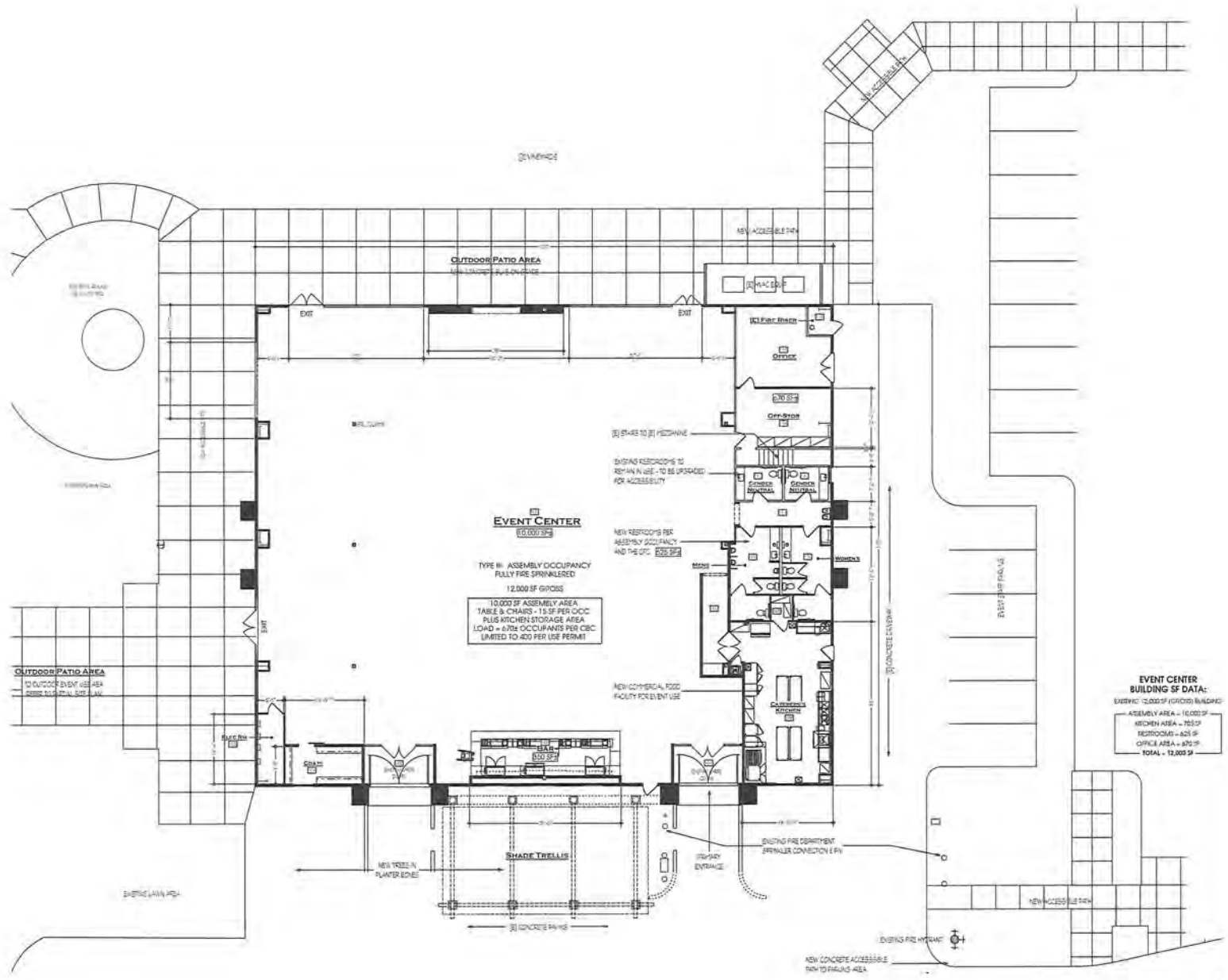
BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA

Cover Sheet

October 2021

UP-19-08
Set Dated 9.30.21

Sheet Number
AS-1.1
of 9 sheets



EVENT CENTER
 10,000 SF
 TYPE III ASSEMBLY OCCUPANCY
 FULLY FIRE SPRINKLED
 12,000 SF GROSS
 10,000 SF ASSEMBLY AREA
 TABLE & CHAIRS - 15 SF PER OCC
 PLUS KITCHEN STORAGE AREA
 LOAD = 475# OCCUPANTS PER CBC
 (LIMITED TO 400 PER USE PERMIT)

EVENT CENTER BUILDING SF DATA:
 EXISTING: 12,000 SF (GROSS) BUILDING
 ASSEMBLY AREA = 10,000 SF
 KITCHEN AREA = 700 SF
 RESTROOMS = 620 SF
 OFFICE AREA = 680 SF
 TOTAL = 12,000 SF

EVENT CENTER FLOOR PLAN
 Scale: 1/8" = 1'-0"



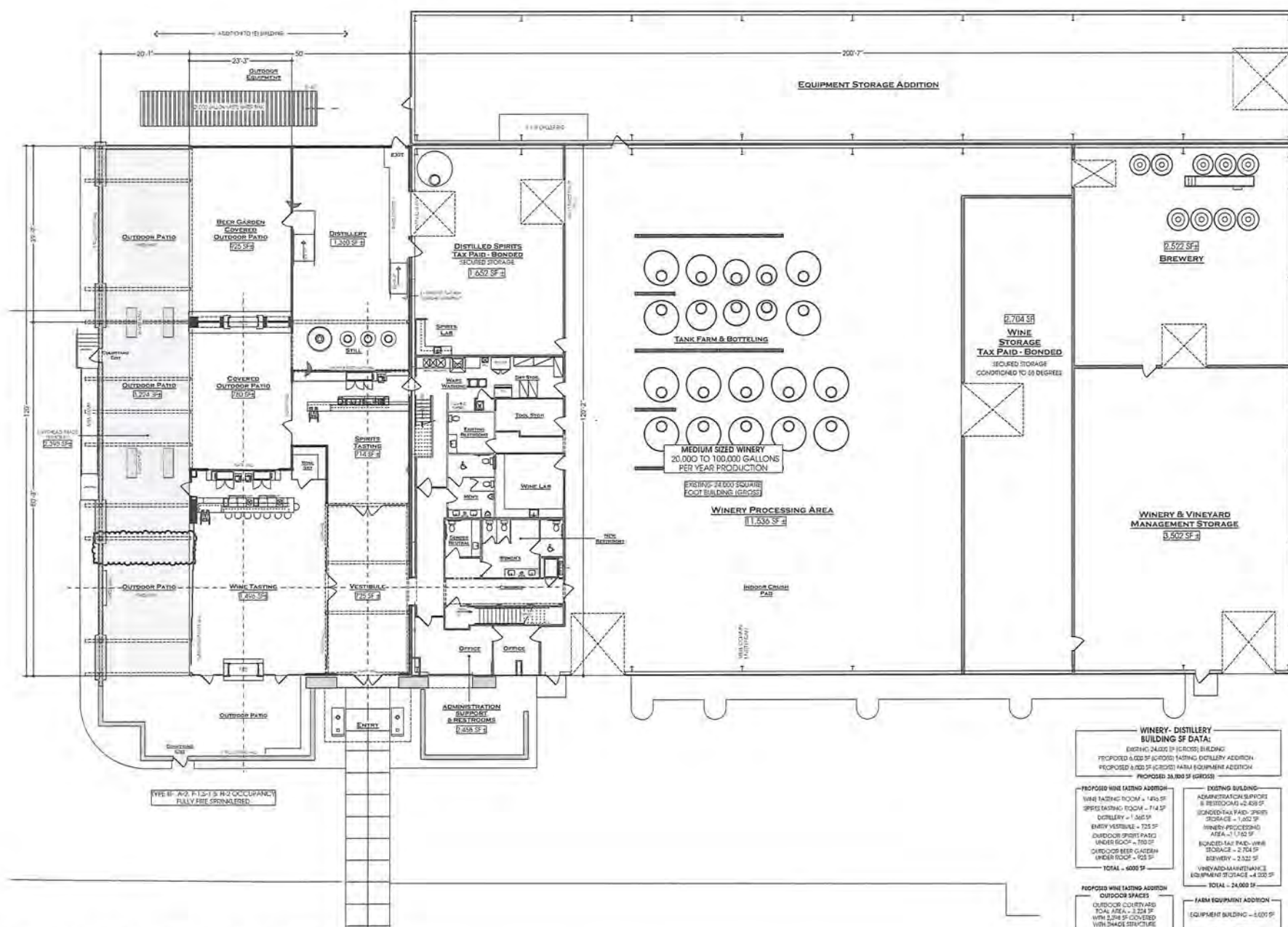
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 FOR: MR. JOE CASSIDY
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Event Center Floor Plan
 October 2021

Sheet Number
A-1.1
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Winery Distillery Floor Plan
October 2021

Sheet Number
A-1.2
of 8 Sheets

WINERY DISTILLERY FLOOR PLAN
Scale: 1/8" = 1'-0"

WINERY - DISTILLERY BUILDING SF DATA!	
EXISTING 24,000 SF (GROSS) BUILDING	
PROPOSED 6,000 SF (GROSS) WINE TASTING, DISTILLERY ADDITION	
PROPOSED 8,000 SF (GROSS) FARM EQUIPMENT ADDITION	
TOTAL = 38,000 SF (GROSS)	

PROPOSED WINE TASTING ADDITION		EXISTING BUILDING	
WINE TASTING ROOM = 1,485 SF	WINE TASTING ROOM = 1,485 SF	ADMINISTRATOR/SUPPORT & RESTROOMS = 2,438 SF	SCARDED-TAX PAID - SPIRITS STORAGE = 1,002 SF
DISTILLERY = 1,300 SF	DISTILLERY = 1,300 SF	WINERY PROCESSING AREA = 11,535 SF	BONDED-TAX PAID - WINE STORAGE = 2,704 SF
ENTRY VESTIBULE = 725 SF	ENTRY VESTIBULE = 725 SF	BREWERY = 2,522 SF	VINEYARD MAINTENANCE EQUIPMENT STORAGE = 4,320 SF
OUTDOOR SPIRITS PATIO UNDER ROOF = 700 SF	OUTDOOR SPIRITS PATIO UNDER ROOF = 700 SF		
OUTDOOR BEER GARDEN UNDER ROOF = 1,025 SF	OUTDOOR BEER GARDEN UNDER ROOF = 1,025 SF		
TOTAL = 6,000 SF		TOTAL = 24,000 SF	

PROPOSED WINE TASTING ADDITION - OUTDOOR SPACES		FARM EQUIPMENT ADDITION	
OUTDOOR COVERED TOTAL AREA = 3,224 SF	OUTDOOR COVERED WITH SHADE STRUCTURE = 3,224 SF	EQUIPMENT BUILDING = 8,000 SF	
TOTAL = 3,224 SF		TOTAL = 8,000 SF	



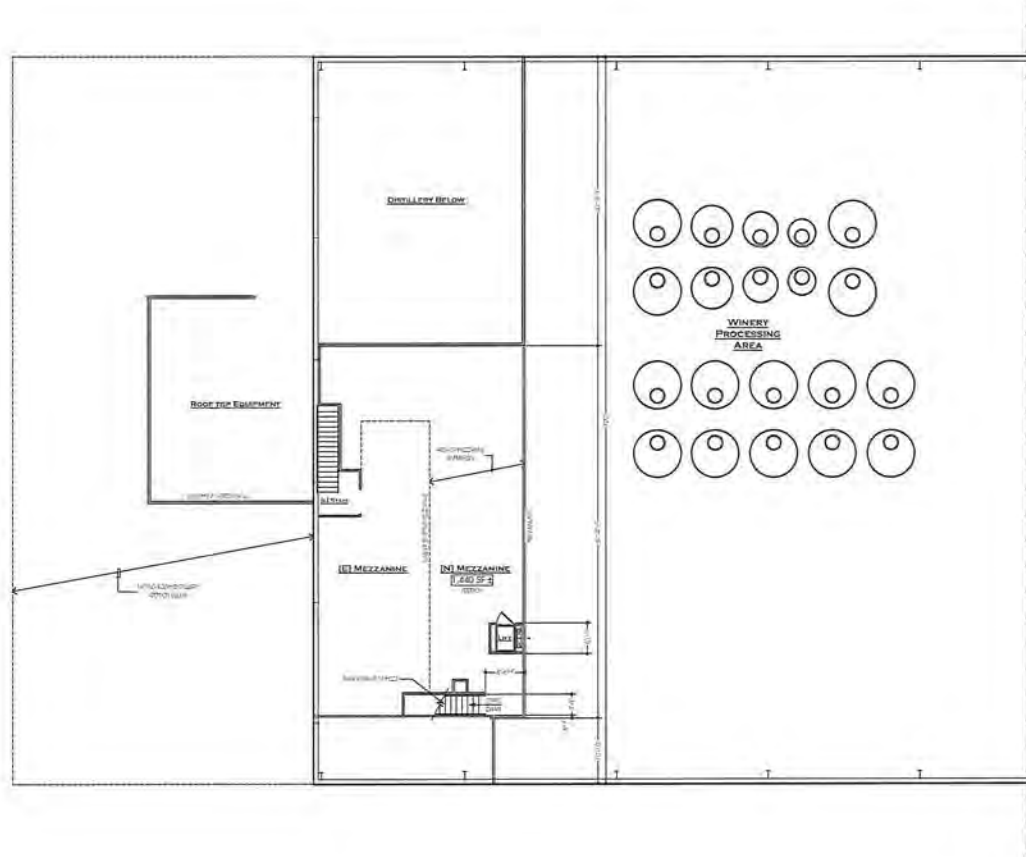


PDF
 Paul D. Francis
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 FOR: MR. JOE CASSIDY
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MEZZANINE FLOOR PLAN
 Scale: 1/8" = 1'-0"



Mezzanine
 Plan
 October 2021

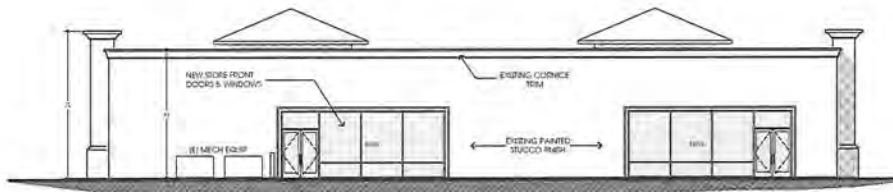
Sheet Number
A-1.3
 of 9 sheets



1 FRONT EXTERIOR ELEVATION (WEST)



2 LEFT SIDE EXTERIOR ELEVATION (NORTH)



3 REAR EXTERIOR ELEVATION (EAST)



4 RIGHT SIDE EXTERIOR ELEVATION (SOUTH)



Paul D. Francis
owner

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BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Event Center
Exterior
Elevations
October 2021

Sheet Number
A-2.1
of 9 sheets



1 TASTING ROOM EAST EXTERIOR ELEVATION
A-2.2



2 TASTING ROOM NORTH EXTERIOR ELEVATION
A-2.2



Paul D. Thoms
Architect

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BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Winery
Exterior
Elevations
October 2021

Sheet Number
A-2.2
of 9 Sheets



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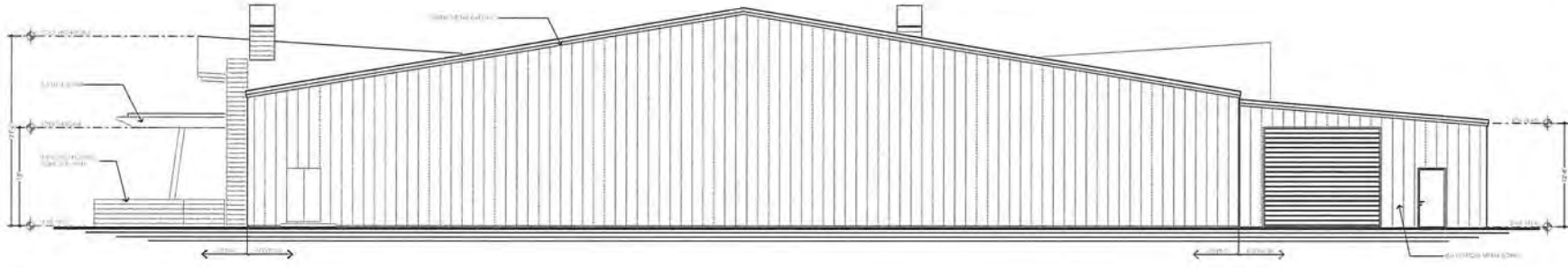
Revisions

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FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA

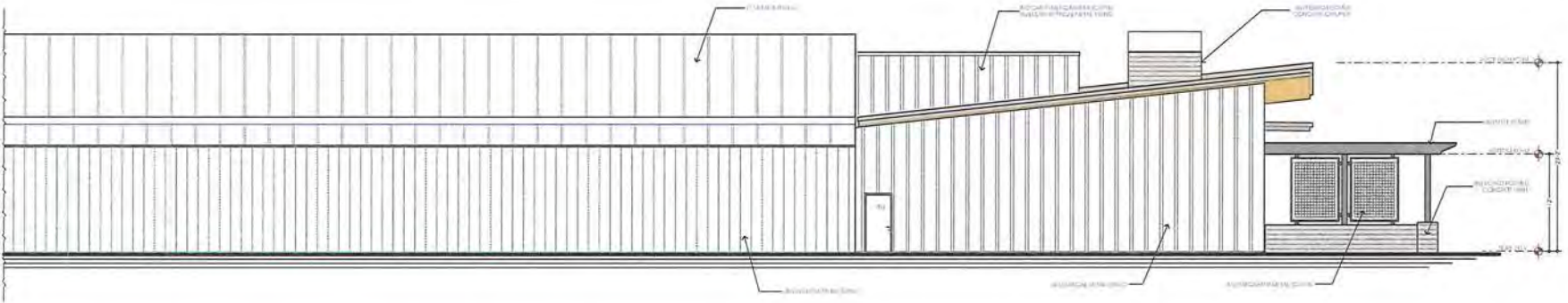


Winery
Exterior
Elevations
Date: As Shown
October 2021

Sheet Number
A-2.3
of 9 Sheets



1 TASTING ROOM WEST EXTERIOR ELEVATION
A-2.3



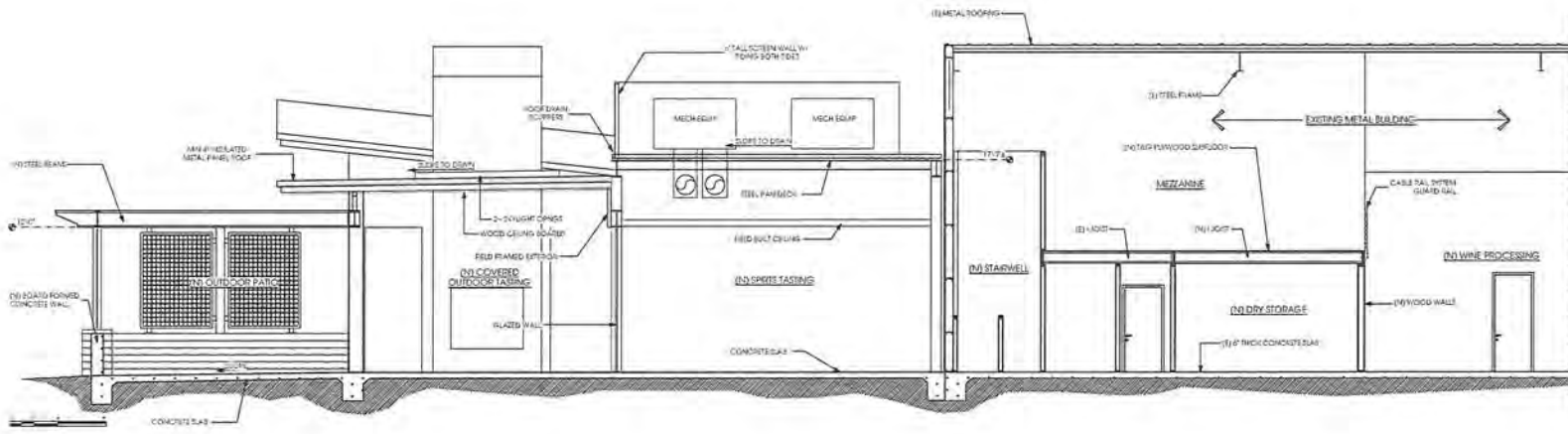
2 TASTING ROOM SOUTH EXTERIOR ELEVATION
A-2.3



Paul D. Francis
architect

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Revisions	



SECTION @ SPIRITS TASTING
Scale: 1/4" = 1'-0"

BALLY KEAL WINERY & EVENT CENTER
FOR: MR. JOE CASSIDY
4286 SUISUN VALLEY ROAD, SUISUN VALLEY, CALIFORNIA



Building
Section
October 2021

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of 3 Sheets

EXHIBIT 2





Image capture: Mar 2021 © 2021 Google

Fairfield, California



Street View - Mar 2021

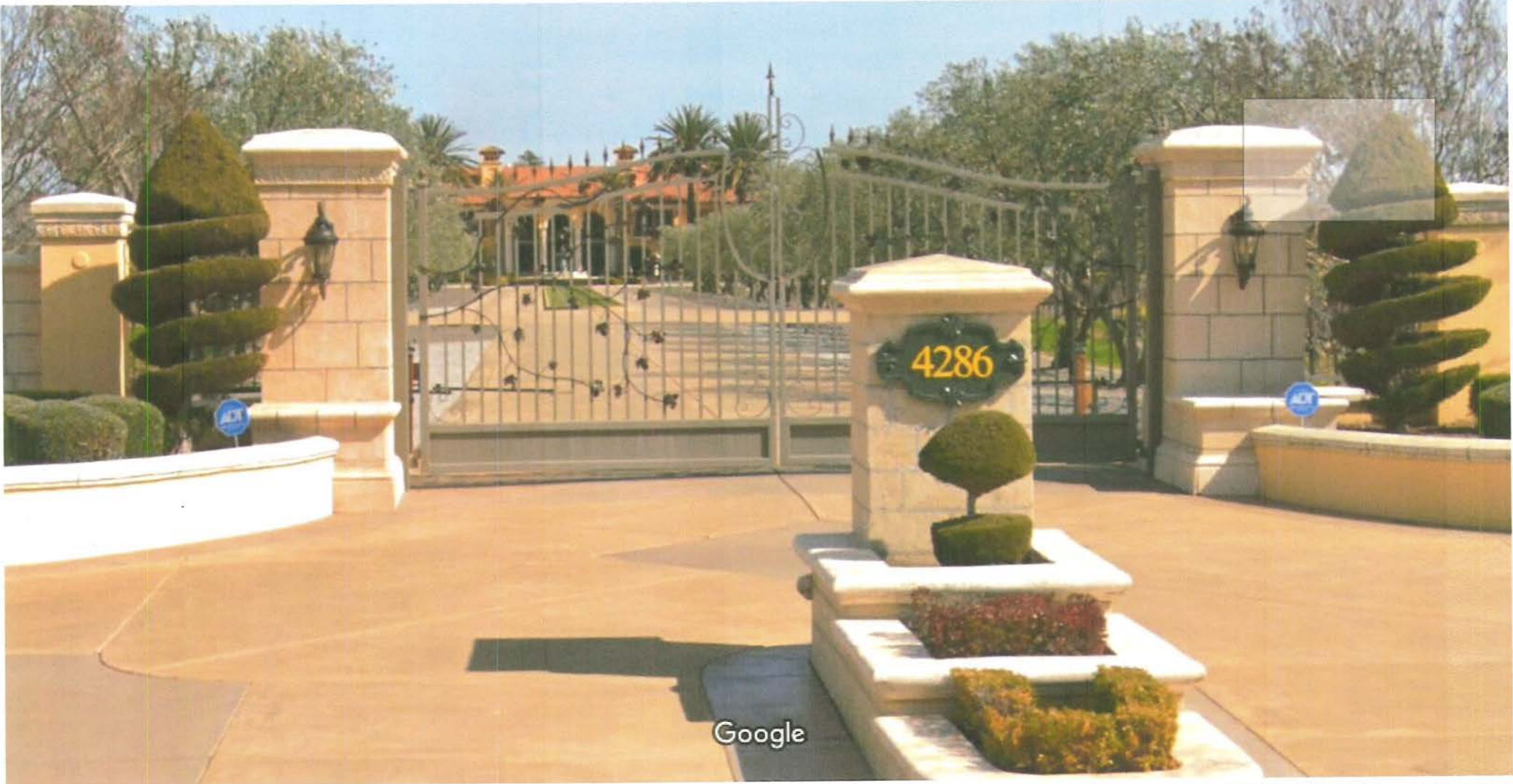


Image capture: Mar 2021 © 2021 Google

airfield, California



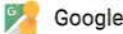
Street View - Mar 2021



Google

Image capture: Mar 2021 © 2021 Google

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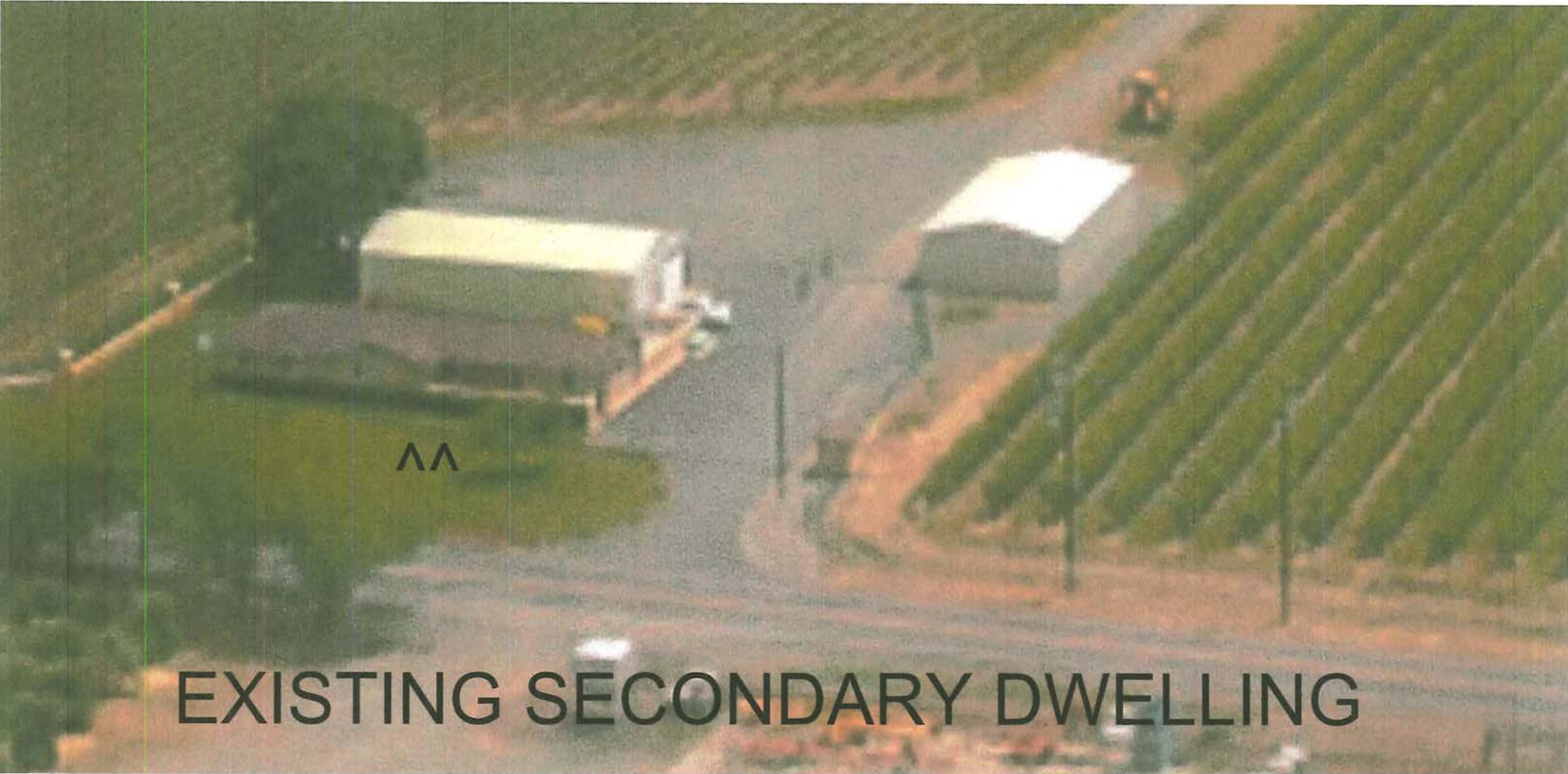
Street View - Mar 2021





SOUTH DRIVEWAY LOOKING WEST

EXHIBIT 3



Ext. 3

EXHIBIT 4



EXHIBIT 5



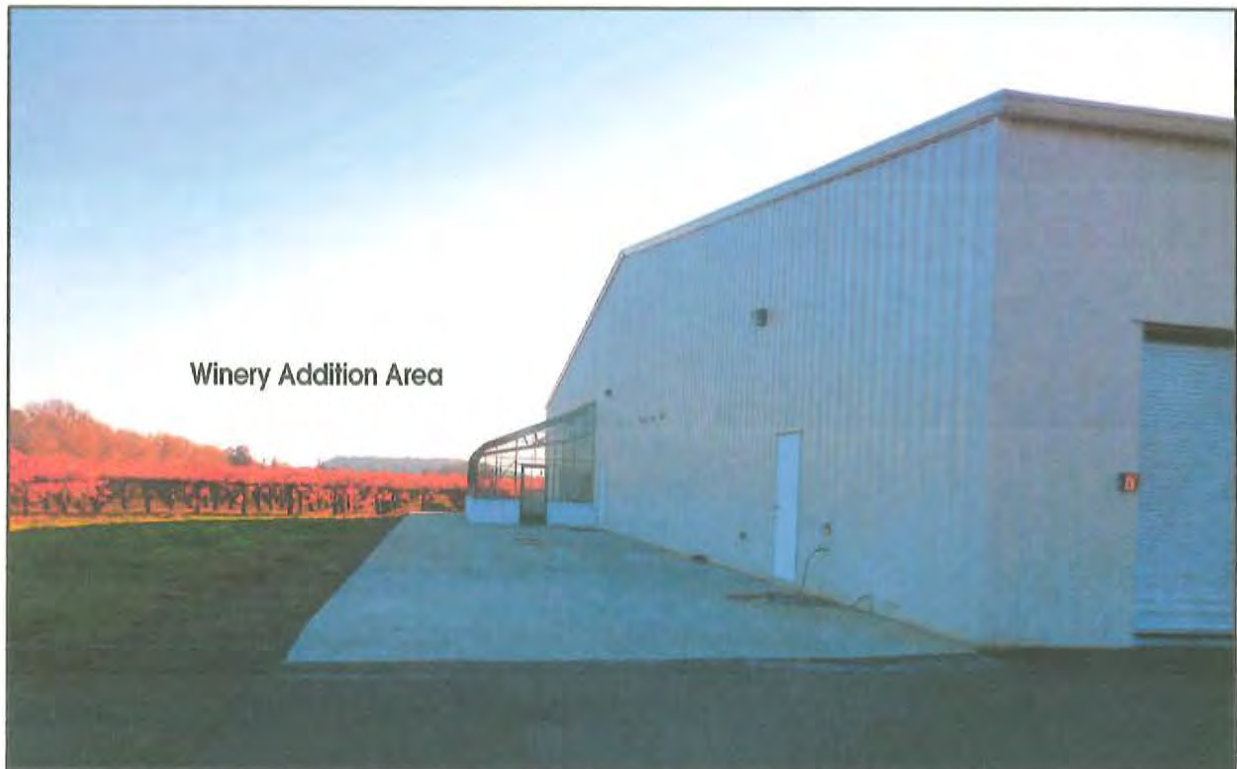
EXHIBIT 6



**View from Proposed Winery down Southern Driveway
to Suisun Valley Road**



**View Down Southern Driveway
Towards Event Center & Winery**



North East View of Proposed Winery Expansion Area



EAST SIDE OF PROPOSED EXISTING
WINERY BUILDING



EXISTING STORAGE BUILDING TO BE RENOVATED FOR WINERY

EXHIBIT 7



EXISTING 12,000 SQ. FT.
STORAGE BUILDING



**Proposed Outdoor Event Area Behind
Main House**



SOUTHWEST VIEW OF EXISTING 12,000 SQ FT STORAGE BUILDING

EXHIBIT 8



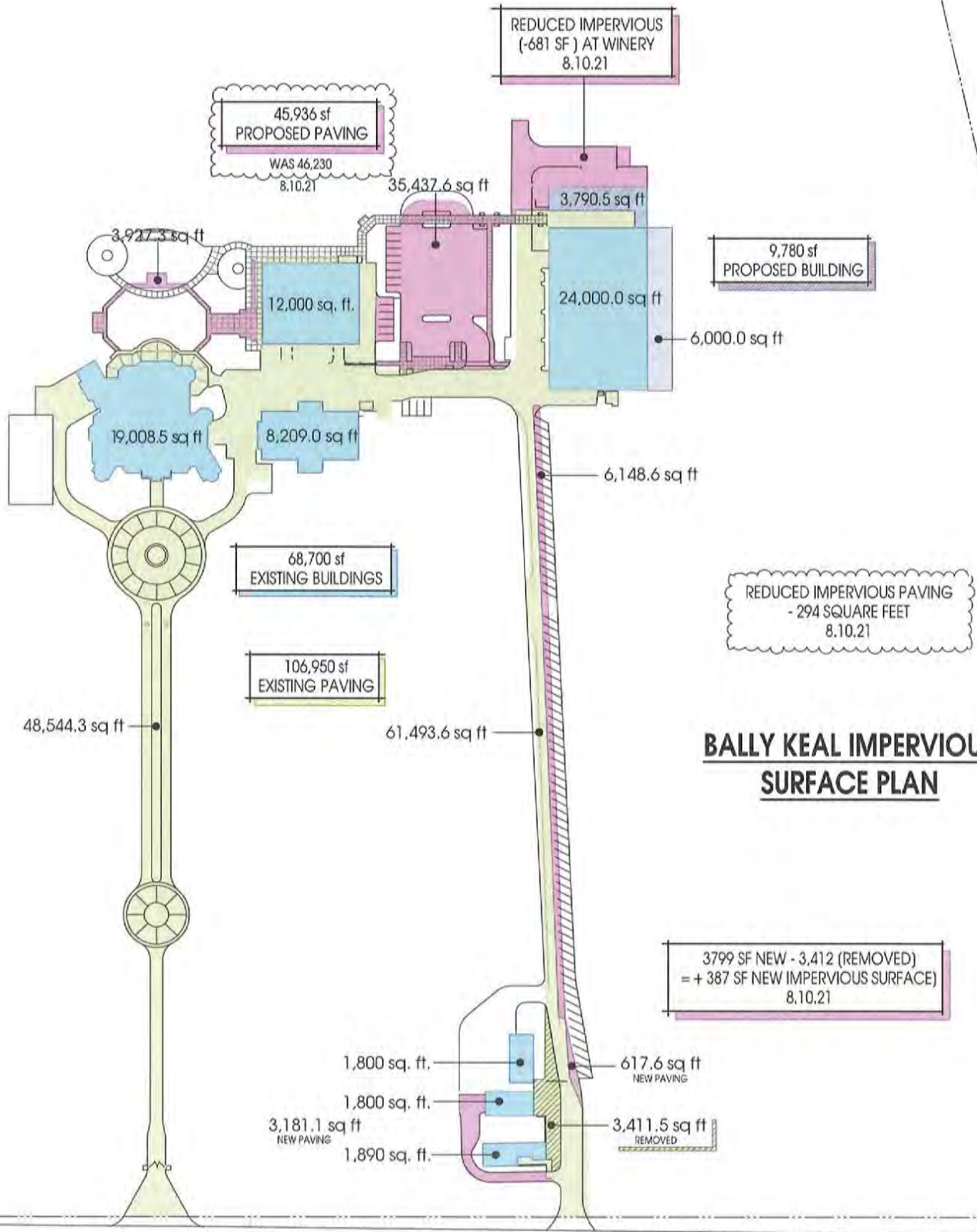
EXISTING 8,000 SQ. FT. PRIVATE GARAGE, MAIN HOUSE TO THE LEFT,
PROPOSED EVENT CENTER IS BEHIND.

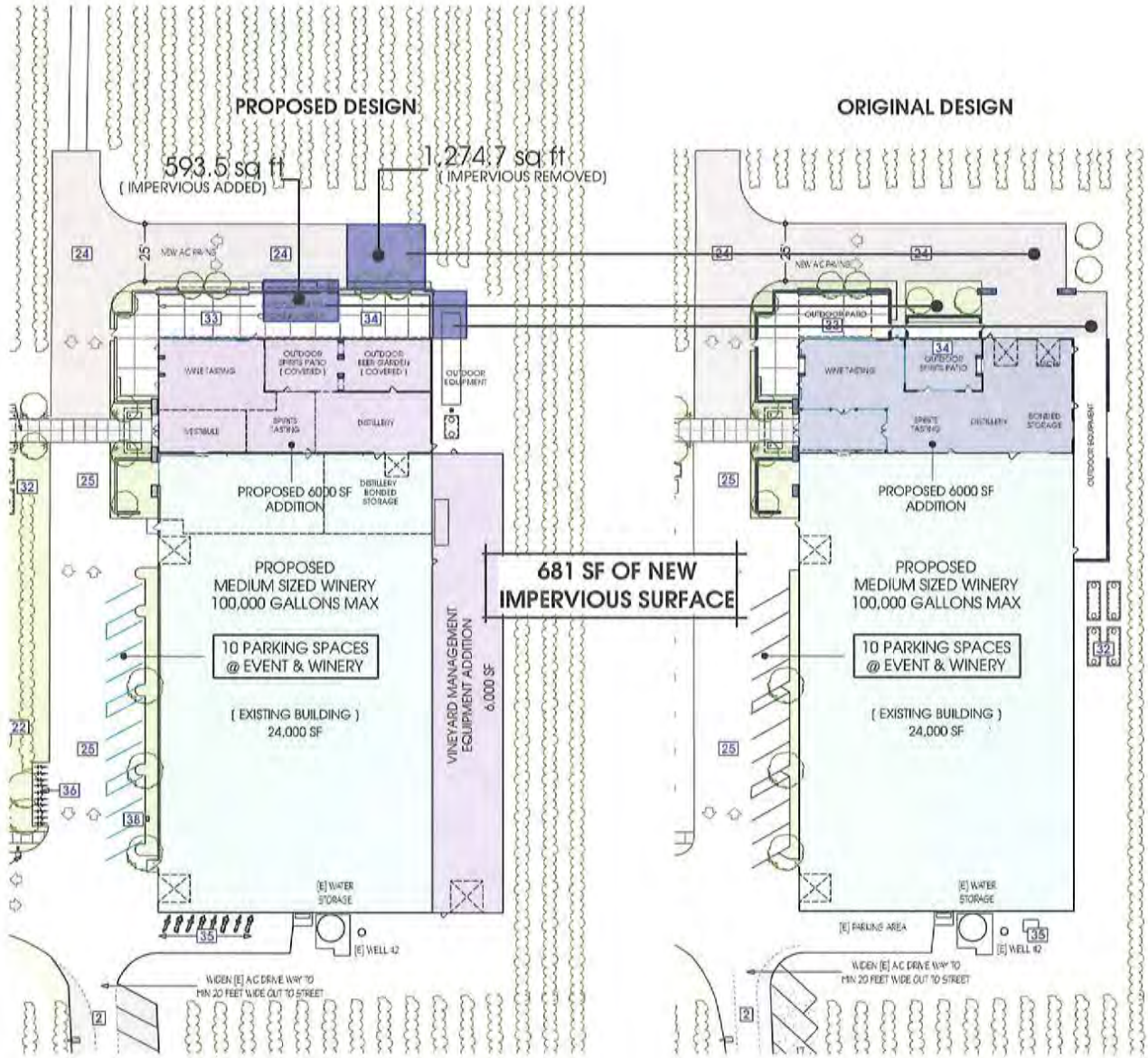
EXHIBIT 9





EXHIBIT 10





From: Gary Bacon <garydbacon@gmail.com>
Sent: Tuesday, October 12, 2021 9:04 AM
To: Planning
Subject: Use Permit Application (U-19-08)

To Solano County Planning Staff & Commissioners,

My wife and I own Monroe Ranch at 4400 Suisun Valley Road which is north and adjacent to Bally Keal Vineyards. At this property we grow grapes and operate the Suisun Valley Inn which often hosts special events. Our grapes are sold to Caymus Winery and starting this year, also to Bally Keal Winery.

We write in support of Bally Keal Vineyards Use Permit Application (U-19-08) to construct an addition to an existing building and convert an existing building into a special events facility. Suisun Valley is becoming an increasingly popular destination for special events. Bally Keal is a spectacular facility and will attract high-end events to Suisun Valley. Their location on the main road at the foot of the valley a little over a mile from Route 80 will easily accommodate any increased vehicle traffic. Assuming they will abide by the same noise restrictions as the other venues in the valley, Bally Keal will be a welcome new neighbor.

Gary Bacon

Monroe Ranch

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From: Tracy McCarthy <tracyamc@sbcglobal.net>
Sent: Tuesday, October 12, 2021 3:40 PM
To: Planning
Cc: kpease@masfirm.com
Subject: Bally Keal - Use Permit Application - U-19-08

To Solano County Planning Staff & Commissioners,

As you know GV Cellars is now closing, and as a prior wine club member I am excited to see a new potential winery open its doors.

The property is spectacular and this is what Suisun Valley tourism needs. I give my full support to have this project approved.

Tracy

[EXTERNAL Email Notice!] External communication is important to us. Be cautious of phishing attempts. Do not click or open suspicious links or attachments.

October 13, 2021

To: Kathy Pease (kpease@masfirm.com)
Solano County Planning (planning@solanocounty.com)

I wanted to take a moment to show my support for the Winery Project, which is being proposed at 4286 Suisun Valley Road (Bally Keal Winery). I have reviewed the plans for the Bally Keal winery-event center project and I am in full support!

It appears all of the buildings are already in place, avoiding a long duration of construction, not to mention all of these buildings are set back significantly from the road, allowing people passing by to just admire the grapes when driving by.

The length of both driveways should eliminate the possibility of back-up on Suisun valley road from visitors to the winery, tasting room, or events, or trucks delivering grapes to the winery during harvest, or other vehicles delivering food and drinks for the events; therefore, a successful winery and event center will not interfere with local residents that have to rely on Suisun valley road to go anywhere.

My wife and I spend a great deal of time in this area on weekends, enjoying the wine made from these grapes, and are delighted that this new winery will be one of our frequent stops. This is a breath of fresh air that the owner of this property is not selling off his land to build more housing, and destroying the character of this community.

Please keep Solano county agricultural uses strong and approve this project.

Regards,

A handwritten signature in blue ink, appearing to read "Bill Powers", with a large, stylized flourish above the name.

Bill Powers

Richardson, Marianne

From: Rene Parra Medina <Rene@granitesf.com>
Sent: Thursday, October 14, 2021 9:04 AM
To: Planning
Subject: Bally Keal Winery & Event Center

Good morning,

This email is in support of Bally Keal Vineyards Use Permit Application (U-19-08).

I am writing to encourage you to vote yes on the Bally Keal winery and event center. I have reviewed the plans for this project, and this is a great project that will benefit the community and its economy.

It doesn't seem like this project will have any negative impact on the environment. Please approve this project.

Thank you

Rene Parra
Project Engineer
GRANITE EXCAVATION & DEMOLITION, INC.
160 S. Linden Avenue, Suite 100
South San Francisco, CA 94080
Office: (650) 737-8700 ext 221 | Cell: (650) 422-0240
Email: rene@granitesf.com | Web: www.granitesf.com

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