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## DEPARTMENT OF RESOURCE MANAGEMENT



# SOLANO COUNTY

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Planning Services Division

**Meeting of: May 21, 2015**

**Agenda Item No: |**

**To: Solano County Planning Commission**

**From: Eric Wilberg, Associate Planner**

**Subject: PUBLIC HEARING** to consider an appeal of the Zoning Administrator's decision to approve Use Permit U-14-04 to permit a 1,534 square foot marsh oriented recreation facility (seasonal duck hunting).

### I. DEPARTMENTAL RECOMMENDATION

The Department of Resource Management recommends that the Planning Commission:

1. Conduct a noticed public hearing to consider an appeal of the Zoning Administrator's decision to approve Use Permit U-14-04, permitting a 1,534 square foot seasonally occupied (private) clubhouse to support marsh oriented recreation at 2864 Grizzly Island Road, 5 miles south of the City of Suisun City within the Marsh Preservation 'MP' Zoning District; APN: 0046-190-160.
2. Modify the Zoning Administrator's approval of Use Permit U-14-04 by adding proposed Condition of Approval No. 7, to ensure the proposed development would be located outside of the existing 6 foot wide right of way easement affording ingress and egress to Assessor's Parcel No. 0046-190-200.

### II. INTRODUCTION

Pursuant to Section 28.112 of the Solano County Zoning Regulations, the Planning Commission shall have power to hear and decide appeals when it is alleged by the appellant that there is error in any order, requirement, permit, decision or determination made by an administrative official or architectural review committee in the administration or enforcement of the Solano County Zoning Regulations. The Planning Commission is being asked to consider an appeal filed by Art Garben of the Zoning Administrator's approval of Use Permit U-14-04 granted to Clarke Rosa on April 16, 2015 to permit the reconstruction seasonally occupied private clubhouse for marsh oriented recreation.

The Planning Commission, after the conduct of a public hearing on this matter may choose one of the following options:

1. Affirm the Zoning Administrator's approval, or
2. Reverse the Zoning Administrator's approval, or
3. Modify the Zoning Administrator's approval, or
4. Continue the hearing in order to obtain additional information.

### III. BACKGROUND

On April 27, 2015 Art Garben filed an appeal of the Zoning Administrator's decision to approve Use Permit U-14-04. The approval permitted the reconstruction of a 1,534 sq. ft. structure utilized seasonally for marsh oriented recreation (duck hunting). Prior to Clarke Rosa acquiring the property, Department permit records indicate that a clubhouse and the property were formally utilized by the Delta King Duck Club.

#### **IV. APPEAL DISCUSSION**

The appeal application identifies an easement for ingress and egress as the primary concern (Attachment D). The application references a record of survey prepared for the Rosa property in 2013, which depicts this easement (Attachment E). The record of survey shows a six foot wide right of way for ingress, egress, and boat docking extending from the Garben property (Assessor's Parcel Number 0046-190-200), through the Rosa property (APN 0046-190-160) to slough access just east of the Rosa clubhouse. On the record of survey the easement is shown as crossing through the northern end of the clubhouse, with the structure impeding access to the waterway. In addition, the record of survey references two grant deeds which describe easements recorded on the property (Attachment F).

As shown on the use permit site plan, the six foot wide easement is north of the clubhouse, unobstructed from any of the proposed development (Attachment G).

Since the appeal filing, Department staff has obtained copies of the record of survey and grant deeds which describe multiple easements affecting the subject property. In addition, staff has coordinated with both parties in an attempt to resolve the current development from impeding off-site slough access. One option presented would be to shift the placement of the clubhouse further south to avoid encroachment into the easement. A second option would be to relocate the easement, in a mutually agreeable location, to avoid proposed development on the Rosa property. Discussions with project proponent have indicated that a revised site plan adjusting the placement of the structure further south could be a viable option; however this Department has not received a revised plan as of yet.

#### **V. CONCLUSION**

As detailed in the Zoning Administrator Staff Report and Resolution, the project is consistent with applicable land use regulations, including the Solano County General Plan, Zoning Regulations, and the Policies and Regulations Governing the Suisun Marsh. It is the Department's conclusion that while the reconstruction of the seasonally occupied marsh oriented recreation facility permitted by the Zoning Administrator April 16, 2015 is consistent with applicable land use regulations; the information presented in the appeal application identifies a conflict between the project and existing easement affording slough access by neighboring property owners.

#### **VI. RECOMMENDATION**

The Department of Resource Management recommends that the Planning Commission:

1. Conduct a noticed public hearing to consider an appeal of the Zoning Administrator's decision to approve Use Permit U-14-04, permitting a 1,534 square foot seasonally occupied (private) clubhouse to support marsh oriented recreation at 2864 Grizzly Island Road, 5 miles south of the City of Suisun City within the Marsh Preservation 'MP' Zoning District; APN: 0046-190-160.
2. Modify the Zoning Administrator's approval of Use Permit U-14-04 by adding proposed Condition of Approval No. 7, to ensure the proposed development would be located outside of the existing 6 foot wide right of way easement affording ingress and egress to Assessor's Parcel No. 0046-190-200.

## VII. FINDINGS

The Department recommends that the Planning Commission make the following findings in support of modifying the Zoning Administrator's approval of Use Permit U-14-04:

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the Solano County General Plan with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan.**

The marsh oriented recreation land use is consistent with the goals, objectives, and policies of the General Plan, including, but not limited to the Land Use and Resources chapters.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

Access to the site is from an existing private road off Gum Tree Road. All necessary utilities, including potable water and septic disposal will be provided on-site.

- 3. The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The project site will continue to be utilized for seasonal marsh oriented recreation. Primary and Secondary Management Areas of the Suisun Marsh surround the project site, whereas seasonal hunting and fishing clubs are the predominant land use and development within the Marsh. The Department does not have a record of the project site generating a nuisance or being a detriment to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, or detriment or injury to property and improvements in the neighborhood.

## SUGGESTED FINDINGS

- 4. The proposed project qualifies for a Class 3 Categorical Exemption from CEQA.**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction. Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

## VIII. CONDITIONS of APPROVAL

1. The marsh oriented recreation facility shall be established and operated in accord with the application materials for Use Permit U-14-04, submitted November 25, 2014 for Clarke Rosa, and as approved by the Solano County Planning Commission.
2. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.

3. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."
4. The project is located in a Flood Zone and the building shall be raised a minimum of one foot above the Base Flood Elevation and a Pre- and Post elevation certificate shall be provided to the building division for review and approval.
5. Prior to Building Permit issuance by the Department of Resource Management, the permittee shall submit documentation from the San Francisco Bay Conservation and Development Commission, confirming acquisition of the requisite Marsh Development Permit.
6. Upon termination, expiration, or revocation of the subject use permit, the permitted structure shall be removed from the site and the area restored to natural conditions.
7. The applicant shall submit a revised site plan which clearly illustrates the existing configuration of the 6 foot wide ingress/egress easement and the proposed development situated outside of that easement.
8. The permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date of May 21, 2020 and the use remains in compliance with permit conditions of approval.

## **ATTACHMENTS**

- A** – Draft Planning Commission Resolution
- B** – Zoning Administrator Staff Report U-14-04
- C** - Zoning Administrator Resolution No. 15-06
- D** – Appeal Request
- E** – Record of Survey
- F** – Grant Deeds
- G** – U-14-04 Site Plan

# SOLANO COUNTY PLANNING COMMISSION

## RESOLUTION NO.

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**WHEREAS**, the Solano County Planning Commission has duly considered, in public hearing, an appeal of the Zoning Administrator's decision to approve Use Permit Application U-14-04 by **Clarke Rosa** to permit a 1,534 square foot seasonally occupied (private) clubhouse to support marsh oriented recreation at 2864 Grizzly Island Road, 5 miles south of the City of Suisun City within the Marsh Preservation 'MP' Zoning District, APN: 0046-190-160, and;

**WHEREAS**, said Commission has reviewed the appellant's reasons for appeal, the applicant's submittal and the staff report of the Department of Resource Management, read and considered the minutes and resolution of the Zoning Administrator, and heard and considered all comments regarding said application at the public hearing held on May 21, 2015; and,

**WHEREAS**, after due consideration, the said Planning Commission has made the following findings in regard to said application:

1. **The establishment, maintenance or operation of the proposed use is in conformity with the County General Plan with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan.**

The marsh oriented recreation land use is consistent with the goals, objectives, and policies of the General Plan, including, but not limited to the Land Use and Resources chapters.

2. **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

Access to the site is from an existing private road off Gum Tree Road. All necessary utilities, including potable water and septic disposal will be provided on-site.

3. **The subject use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The project site will continue to be utilized for seasonal marsh oriented recreation. Primary and Secondary Management Areas of the Suisun Marsh surround the project site, whereas seasonal hunting and fishing clubs are the predominant land use and development within the Marsh. The Department does not have a record of the project site generating a nuisance or being a detriment to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, or detriment or injury to property and improvements in the neighborhood.

4. **The proposed project qualifies for a Class 3 Categorical Exemption from CEQA.**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction. Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

EXHIBIT A

**BE IT, THEREFORE, RESOLVED**, that the Planning Commission of the County of Solano does hereby deny the appeal and Modify the Zoning Administrator's Approval of Use Permit No. U-14-04 subject to the following conditions of approval:

1. The marsh oriented recreation facility shall be established and operated in accord with the application materials for Use Permit U-14-04, submitted November 25, 2014 for Clarke Rosa, and as approved by the Solano County Planning Commission.
2. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.
3. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."
4. The project is located in a Flood Zone and the building shall be raised a minimum of one foot above the Base Flood Elevation and a Pre- and Post elevation certificate shall be provided to the building division for review and approval.
5. Prior to Building Permit issuance by the Department of Resource Management, the permittee shall submit documentation from the San Francisco Bay Conservation and Development Commission, confirming acquisition of the requisite Marsh Development Permit.
6. Upon termination, expiration, or revocation of the subject use permit, the permitted structure shall be removed from the site and the area restored to natural conditions.
7. The applicant shall submit a revised site plan which clearly illustrates the existing configuration of the 6 foot wide ingress/egress easement and the proposed development situated outside of that easement.
8. The permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date of May 21, 2020 and the use remains in compliance with permit conditions of approval.

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I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Planning Commission on May 21, 2015, by the following vote:

AYES:	Commissioners	_____
		_____
NOES:	Commissioners	_____
ABSTAIN:	Commissioners	_____
ABSENT:	Commissioners	_____

By: \_\_\_\_\_  
Bill Emlen, Secretary

**SOLANO COUNTY ZONING ADMINISTRATOR**  
**Resource Management Staff Report**

**Application No. U-14-04**  
**Project Planner: Eric Wilberg**

**Meeting of: April 16, 2015**  
**Agenda Item No. 3**

**Applicant:**  
 Clarke Rosa  
 6357 Calle Montalvo Circle  
 Granite Bay, CA 95746

**Property Owner:**  
 same

**Action Requested:**

Zoning Administrator approval of Use Permit application U-14-04 to permit a 1,534 square foot structure utilized in conjunction with an existing marsh oriented recreation facility (seasonal duck hunting).

**SITE INFORMATION**

**Size:** 64 acres

**Location:** 2864 Grizzly Island Road

**APN:** 0046-190-160

**Zoning:** Marsh Preservation

**Land Use:** Marsh Oriented Recreation

**General Plan:** Marsh

**Ag. Contract:** No. 999

**Soils Type(s):** Other Land

**Access:** Gum Tree Road

**Utilities:** On-site

**Adjacent General Plan Designations, Zoning and Existing Land Uses**

	General Plan	Zoning	Land Use
North	Marsh	MP	Montezuma Slough
South	Marsh	MP	Marsh, seasonal recreation
East	Marsh	MP	Marsh, seasonal recreation
West	Marsh	MP	Marsh, seasonal recreation

**Environmental Analysis:**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction.

**Motion to Approve:**

The Zoning Administrator does hereby **ADOPT** the attached resolution and **APPROVE** Use Permit No. U-14-04 based on the enumerated findings and subject to the recommended conditions of approval.

## **SETTING**

The subject site is 64 acres located 4.5 miles south of Suisun City. The entire property is relatively flat and located within the Primary Management Area of the Suisun Marsh. Montezuma Slough bounds the property to the north; Man made drainage ditches bound the eastern and western sides of the parcel; and open marsh lie to the south. Approximately 90% of the property is flooded one foot deep to provide habitat during the duck hunting season (generally October through April).

The northwest corner of the property has been historically developed with a storage structure and club house. These structures are clustered on this graveled area, along with buildings on adjacent Assessor's Parcel Numbers 0046-190-170 and 0046-190-200, in the area where these three parcels converge near Montezuma Slough. Gravel access and parking is also provided in this area.

Similar marsh oriented recreational land uses, including duck hunting, duck ponds, sloughs, gravel parking areas and club houses exist on properties surrounding the project site.

## **PROJECT**

The project involves re-constructing a 1,534 square foot clubhouse to be utilized seasonally for private duck hunting purposes. Duck hunting within the Suisun Marsh generally occurs annually between October and April. The structure would be occupied intermittently during the hunting season and the applicant indicates that the property would not be rented or leased for profit.

The proposed building replaces a structure previously used for the same hunting purposes and is in generally the same location near the northwestern corner of the lot. The project would also include the removal of storage structure to the south.

The structure would be served by a new on-site potable water tank and septic collection tank. A 5,000 gallon fire protection water tank would also be constructed to serve the facility. Garage parking would be provided below the clubhouse. The newly re-constructed building would utilize existing PG&E electrical service, propane tank, and existing gravel access.

## **ENVIRONMENTAL ANALYSIS**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction of an existing structure. Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

The proposed project involves constructing a 1,534 square foot hunting clubhouse, garage parking (below the clubhouse), and associated utility infrastructure (water and septic storage tanks). The project is replacing the clubhouse formally on-site as well as the accessory storage structure.

## **ANALYSIS**

### **General Plan and Zoning**

The project site is designated Marsh by the Solano County General Plan. In addition, the parcel is located within a Resource Conservation Overlay. The Marsh designation provides for the protection of marsh and wetland areas and permits marsh-oriented recreational uses such a hunting clubs. The



purpose of the overlay is to identify and protect areas of the county with special resource management needs such as the Marsh, while maintaining the validity of the underlying land use designations. As such, the existing and continued operation of the hunting club is consistent with the General Plan.

The project site is located within the Marsh Preservation 'MP' Zoning District. Per Section 28.52 of the County Zoning Regulations, Marsh oriented recreation is a conditionally permitted land use within this district. As proposed, the project conforms with the general requirements for recreational uses outlined in Section 28.73.10(A) of the County Zoning Regulations, as follows:

The project site is accessed via existing private roadway off Gum Tree Road. As such, ingress and egress to the property would not change. Issuance of an encroachment permit to a County maintained road is not necessary.

Lighting capable of providing illumination for security and safety will be directed away from adjacent properties and public rights-of-way to prevent offensive light or glare.

The proposed structure is set back at least 10 feet from all property lines and exceeds the minimum set back requirements as required for the main building within the 'MP' district.

The project does not abut residentially zoned property and does not require screening measures to separate parking areas.

### **Suisun Marsh**

The project is located within the Primary Management area of the Suisun Marsh and requires issuance of a Marsh Development Permit from the San Francisco Bay Conservation and Development Commission (BCDC). The Solano County Policies and Regulations Governing the Suisun Marsh consolidate the policies and regulations contained in the Local Component of the Suisun Marsh Local Protection Program as certified by BCDC. These documents identify the importance of the marsh as a recreational area which can be seen in the amount of land devoted to duck hunting, approximately 37,000 acres.

Within the Suisun Marsh, policies state that provisions should be made to allow for public and private recreational development and access to the Marsh for such uses as fishing, hunting, boating, picnicking, hiking and nature study.

The applicant has been in contact with BCDC and is aware that a marsh development permit from BCDC is required. A condition of approval reflecting this requirement is included below.

### **USE PERMIT MANDATORY FINDINGS**

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the Solano County General Plan with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan.**

The marsh oriented recreation land use is consistent with the goals, objectives, and policies of the General Plan, including, but not limited to the Land Use and Resources chapters.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

Access to the site is from an existing private road off Gum Tree Road. All necessary utilities, including potable water and septic disposal will be provided on-site.

3. **The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The project site will continue to be utilized for seasonal marsh oriented recreation. Primary and Secondary Management Areas of the Suisun Marsh surround the project site, whereas seasonal hunting and fishing clubs are the predominant land use and development within the Marsh. The Department does not have a record of the project site generating a nuisance or being a detriment to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, or detriment or injury to property and improvements in the neighborhood.

#### **SUGGESTED FINDINGS**

4. **The proposed project qualifies for a Class 3 Categorical Exemption from CEQA.**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction. Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

#### **RECOMMENDATION**

Staff recommends that the Zoning Administrator **APPROVE** Use Permit No. U-14-04, based on the findings enumerated herein, and subject to the recommended conditions of approval incorporated in this report.

#### **CONDITIONS OF APPROVAL**

1. The marsh oriented recreation facility shall be established and operated in accord with the application materials for Use Permit U-14-04, submitted November 25, 2014 for Clarke Rosa, and as approved by the Solano County Zoning Administrator.
2. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.
3. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such

work to be done, shall first make application to the building official and obtain the required permit.”

4. The project is located in a Flood Zone and the building shall be raised a minimum of one foot above the Base Flood Elevation and a Pre- and Post elevation certificate shall be provided to the building division for review and approval.
5. Prior to Building Permit issuance by the Department of Resource Management, the permittee shall submit documentation from the San Francisco Bay Conservation and Development Commission, confirming acquisition of the requisite Marsh Development Permit.
6. Upon termination, expiration, or revocation of the subject use permit, the permitted structure shall be removed from the site and the area restored to natural conditions.
7. The permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date of April 16, 2020 and the use remains in compliance with permit conditions of approval.

#### **Attachments**

- A** – Draft Resolution
- B** – Assessor’s Parcel Map
- C** - Site Plan

## **SOLANO COUNTY ZONING ADMINISTRATOR RESOLUTION NO. XX**

**WHEREAS**, the Solano County Zoning Administrator has considered Use Permit Application No. U-14-04 of **Clarke Rosa** for a 1,534 square foot seasonally occupied (private) clubhouse to support marsh oriented recreation at 2864 Grizzly Island Road, 5 miles south of the City of Suisun City in an "MP" Marsh Preservation Zoning District, APN: 0046-190-160, and;

**WHEREAS**, said Zoning Administrator has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on April 16, 2015, and;

**WHEREAS**, after due consideration, the Zoning Administrator has made the following findings in regard to said proposal:

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the Solano County General Plan with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan.**

The marsh oriented recreation land use is consistent with the goals, objectives, and policies of the General Plan, including, but not limited to the Land Use and Resources chapters.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

Access to the site is from an existing private road off Gum Tree Road. All necessary utilities, including potable water and septic disposal will be provided on-site.

- 3. The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The project site will continue to be utilized for seasonal marsh oriented recreation. Primary and Secondary Management Areas of the Suisun Marsh surround the project site, whereas seasonal hunting and fishing clubs are the predominant land use and development within the Marsh. The Department does not have a record of the project site generating a nuisance or being a detriment to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, or detriment or injury to property and improvements in the neighborhood.

### **SUGGESTED FINDINGS**

- 4. The proposed project qualifies for a Class 3 Categorical Exemption from CEQA.**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction. Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on

the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

**BE IT THEREFORE RESOLVED**, that the Zoning Administrator has approved Use Permit Application No. U-14-04 subject to the following recommended conditions of approval:

1. The marsh oriented recreation facility shall be established and operated in accord with the application materials for Use Permit U-14-04, submitted November 25, 2014 for Clarke Rosa, and as approved by the Solano County Zoning Administrator.
2. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.
3. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."
4. The project is located in a Flood Zone and the building shall be raised a minimum of one foot above the Base Flood Elevation and a Pre- and Post elevation certificate shall be provided to the building division for review and approval.
5. Prior to Building Permit issuance by the Department of Resource Management, the permittee shall submit documentation from the San Francisco Bay Conservation and Development Commission, confirming acquisition of the requisite Marsh Development Permit.
6. Upon termination, expiration, or revocation of the subject use permit, the permitted structure shall be removed from the site and the area restored to natural conditions.
7. The permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date of April 16, 2020 and the use remains in compliance with permit conditions of approval.

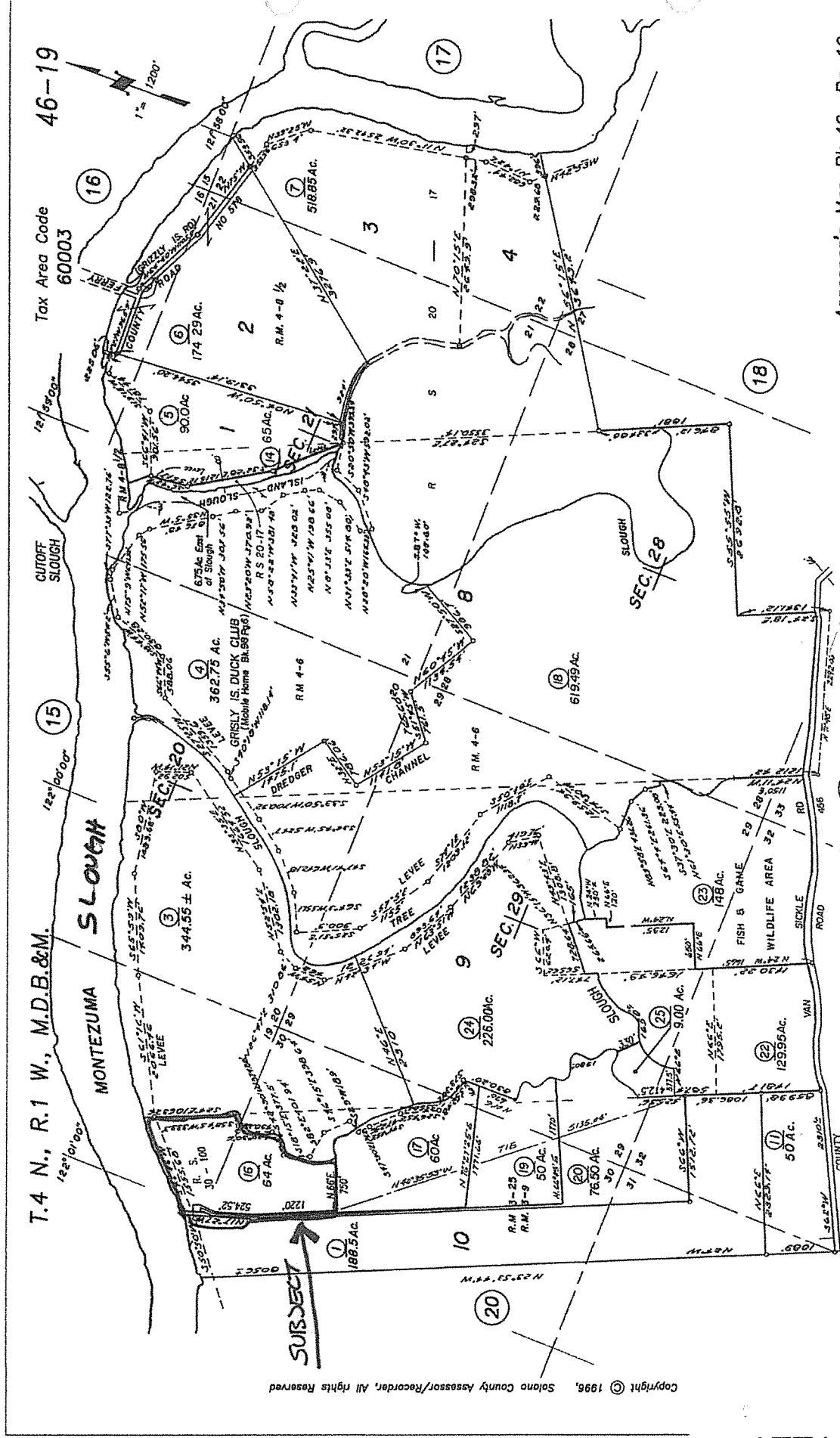
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I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Zoning Administrator on April 16, 2015.

BILL EMLLEN, DIRECTOR  
RESOURCE MANAGEMENT

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Michael Yankovich  
Planning Program Manager



T.4 N., R.1 W., M.D.B.&M.

Montezuma Slough

Cutoff Slough

60003 Tax Area Code 46-19

15 16 17 18 20 21

SEC 28

SEC 29

SEC 30

174.29 AC (6)

90.0 AC (5)

362.75 AC (4) GRISLY IS. DUCK CLUB (Mobile Home Ellipses)

344.55 ± AC (3)

64 AC (16)

188.5 AC (1)

60 AC (17)

50 AC (19)

76.50 AC (20)

9.00 AC (25)

50 AC (11)

518.85 AC (7)

619.49 AC (8)

226.00 AC (24)

148 AC (23)

129.95 AC (22)

50 AC (11)

148 AC (23)

148 AC (23)

148 AC (23)

148 AC (23)

148 AC (23)

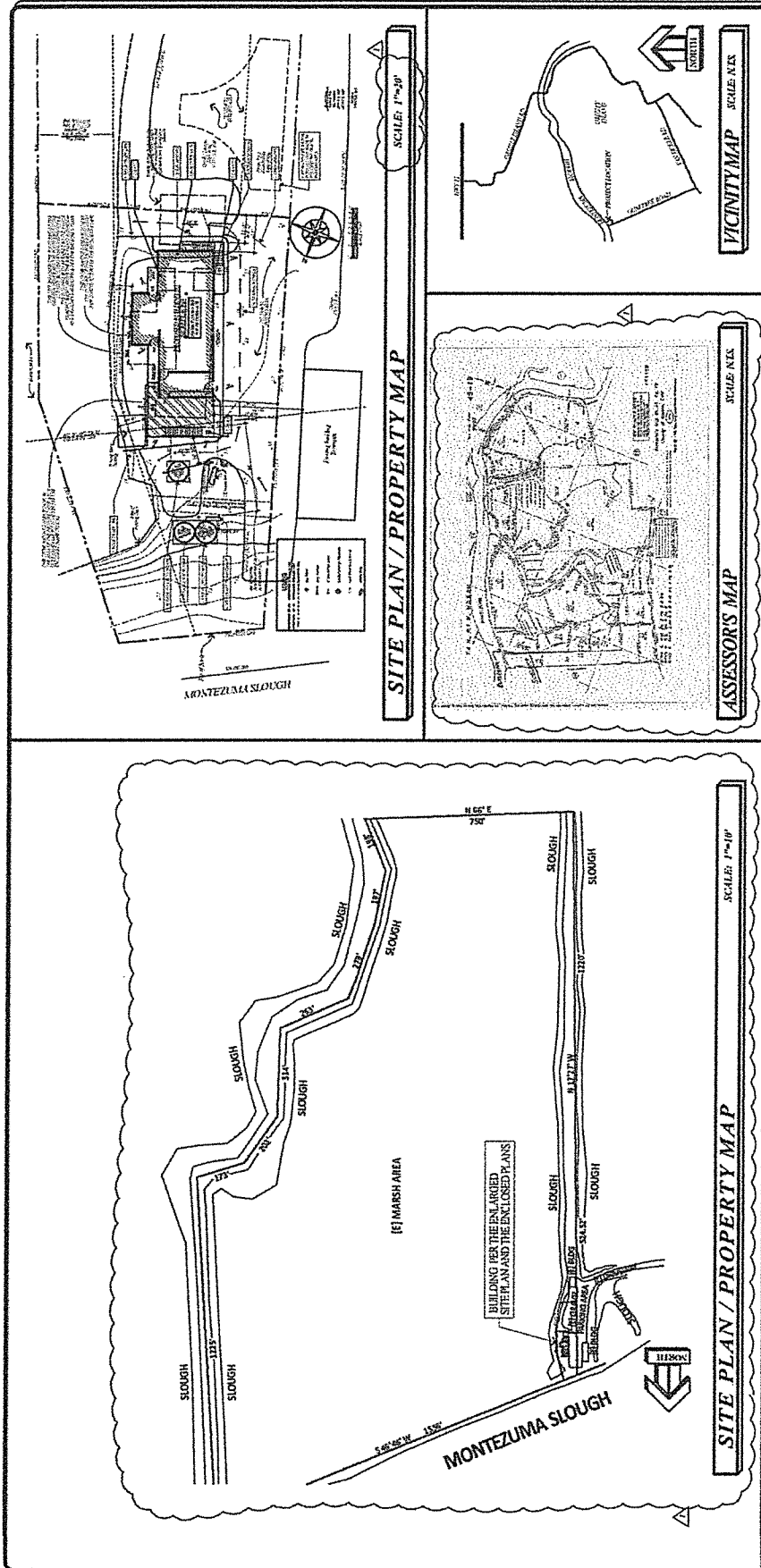
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Assessor's Map Bk. 46 Pg. 19  
County of Solano, Calif.  
14-15

NOTE: This map is for assessment purposes only. It is not intended to define legal boundary rights or imply compliance with land division laws.

REVISION	DATE	BY
190-16 (No)	5-28-13	Cr
190-24&25 (A)	10-29-98	AJ

Grisly Is. R.M. Bk. 3 Pg. 9 & 29  
Grisly Is. R.M. Bk. 4 Pg. 6  
Grisly Is. Subd Lots 6 & 8 R.M. Bk. 4 Pg. 8 1/2  
Assessor's Block Numbers Shown in Ellipses, Assessor's Parcel Numbers Shown in Circles



**JAMES GEORGE DESIGNS**  
 20 LEON VALLE DRIVE  
 SAN ANTONIO, TEXAS 78249  
 PHONE: 210-514-8474  
 FAX: 210-514-8475  
 www.jgdesigns.com

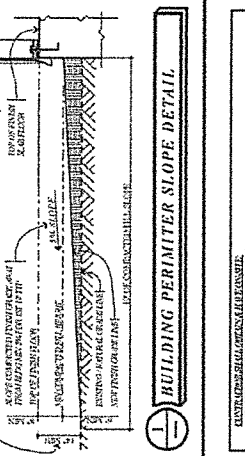
**CLASSIFICATION:** CLASSIFIED PER 301.03  
**DESIGNER:** JAMES GEORGE  
**DATE:** 11/19/18  
**PROJECT TITLE:** VACATION HOME PLANS  
 FOR: CLARK ROSA  
 AIRFIELD, CALIFORNIA  
 # 046-190-160

**SITE REFERENCE NOTES:**

1. All owners and contractors shall be responsible for the cost of an approved permit or license. See the city for more information.
2. All utility lines are shown for informational purposes only. The contractor is responsible for verifying the location and depth of all utility lines before construction.
3. The contractor is responsible for obtaining all necessary permits and licenses for this project.
4. The contractor is responsible for ensuring that all construction complies with the applicable codes and regulations.
5. The contractor is responsible for protecting the site from erosion and sedimentation during construction.
6. The contractor is responsible for ensuring that all construction complies with the applicable codes and regulations.
7. The contractor is responsible for ensuring that all construction complies with the applicable codes and regulations.
8. The contractor is responsible for ensuring that all construction complies with the applicable codes and regulations.
9. The contractor is responsible for ensuring that all construction complies with the applicable codes and regulations.
10. The contractor is responsible for ensuring that all construction complies with the applicable codes and regulations.

**NOTE:**  
 ALL PLANS SHALL BE INCORPORATED WITHIN 30 DAYS OF THE DATE OF THE PERMITTING AGENCY'S REVIEW SEAL OF APPROVAL AND THE CONTRACTOR'S SIGNATURE.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE SITE FROM EROSION AND SEDIMENTATION DURING CONSTRUCTION.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION COMPLIES WITH THE APPLICABLE CODES AND REGULATIONS.

**BUILDING PERIMETER SLOPE DETAIL**



**CONSTRUCTION DETAILS:**  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE SITE FROM EROSION AND SEDIMENTATION DURING CONSTRUCTION.

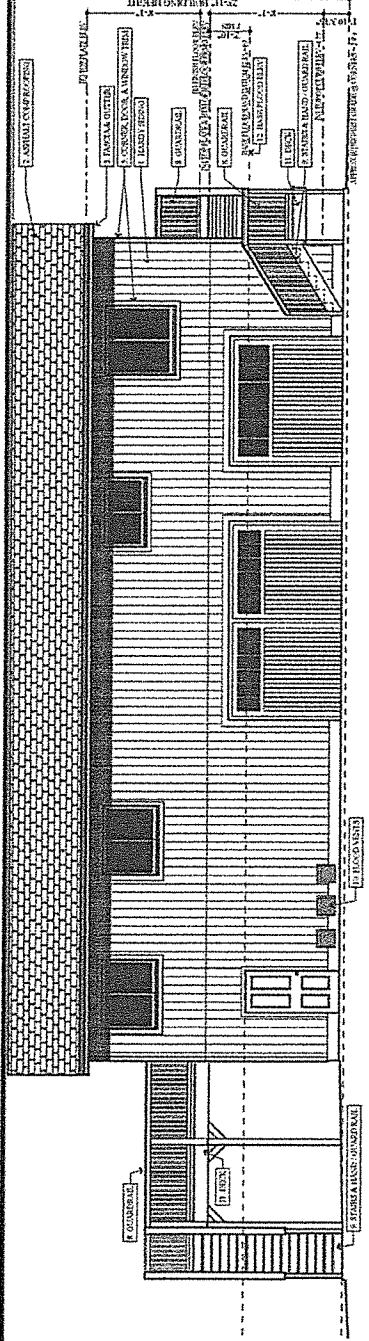
**SITE REQUIREMENTS:**

1. The building shall be located on a lot that is zoned for residential use.
2. The building shall be constructed in accordance with the applicable codes and regulations.
3. The building shall be constructed in accordance with the applicable codes and regulations.
4. The building shall be constructed in accordance with the applicable codes and regulations.
5. The building shall be constructed in accordance with the applicable codes and regulations.
6. The building shall be constructed in accordance with the applicable codes and regulations.
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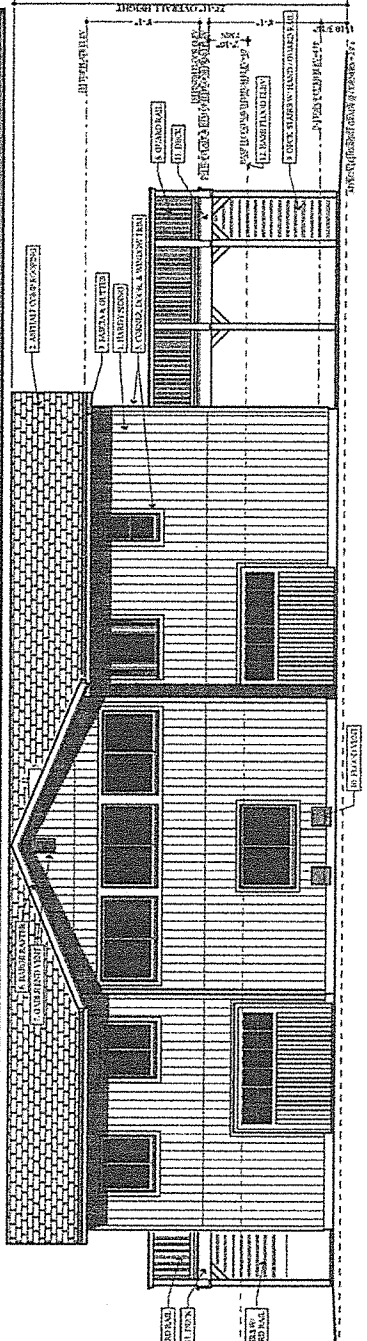
**CONSTRUCTION DETAILS:**  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE SITE FROM EROSION AND SEDIMENTATION DURING CONSTRUCTION.

**EXTERIOR ELEVATION KEY NOTES:**

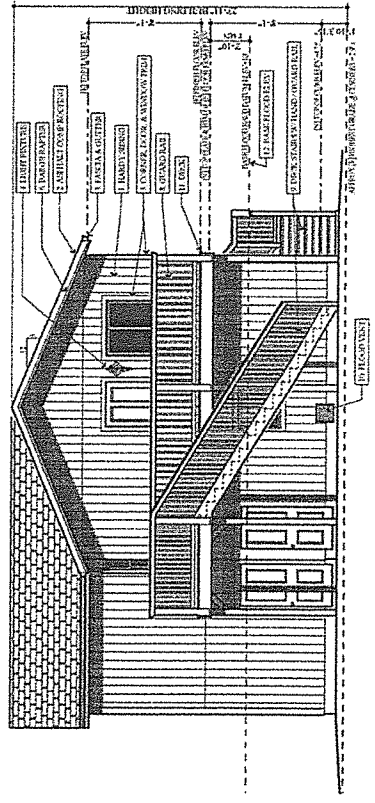
1. **Hand-drawn elevations:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
2. **Materials:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
3. **Dimensions:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
4. **Notes:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
5. **Materials:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
6. **Dimensions:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
7. **Notes:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
8. **Materials:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
9. **Dimensions:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
10. **Notes:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
11. **Materials:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
12. **Dimensions:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
13. **Notes:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
14. **Materials:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
15. **Dimensions:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).
16. **Notes:** Provide one (1) set of elevations with vertical relief as noted by James Hardie. The relief is to be installed over 1/2" plywood for exterior applications. For interior applications, install the relief with "x" backing for the (SBSI). Address all requirements. Avoid the use of "x" backing for the (SBSI).



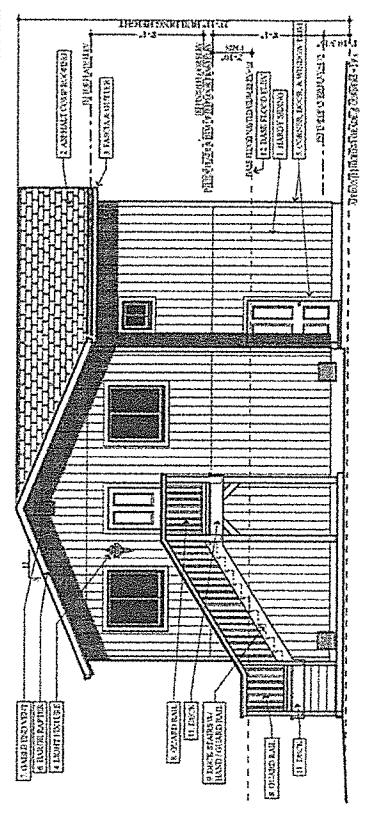
**FRONT / WEST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR / EAST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT / NORTH SIDE EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT / SOUTH SIDE EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

**VACATION HOME PLANS**  
FOR: CLARK ROSA  
# 046-190-160  
FIELD, CALIFORNIA

DATE: 12-29-19  
SCALE: AS NOTED  
SHEET NO. 18  
EXTENSIVE ELEVATIONS  
SHEET NUMBER: A1 of A6  
W/13 SECTION

**JAMES GEORGE DESIGNS**  
30 LEXINGTON AVENUE  
NEW YORK, N.Y. 10017  
PHONE: (212) 687-1100  
FAX: (212) 687-1101  
WWW.JAMESGEORGEDESIGNS.COM

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR THE SIGNATURE OF JAMES GEORGE ALONG WITH THE GOVERNING AGENCY'S REVIEW SEAL OF APPROVAL AND WET SIGNATURE.



**VACATION HOME PLANS**  
 FOR: CLYDE ROSA  
 NFIELD, CALIFORNIA  
 NO 046-190-160

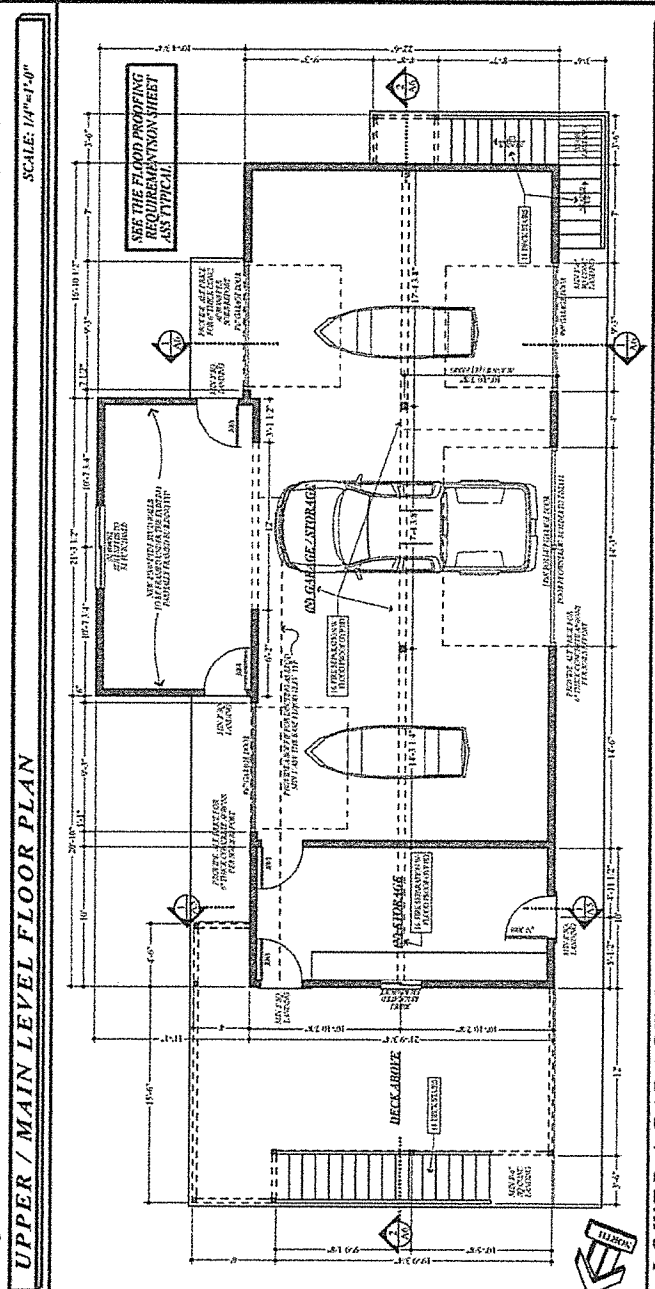
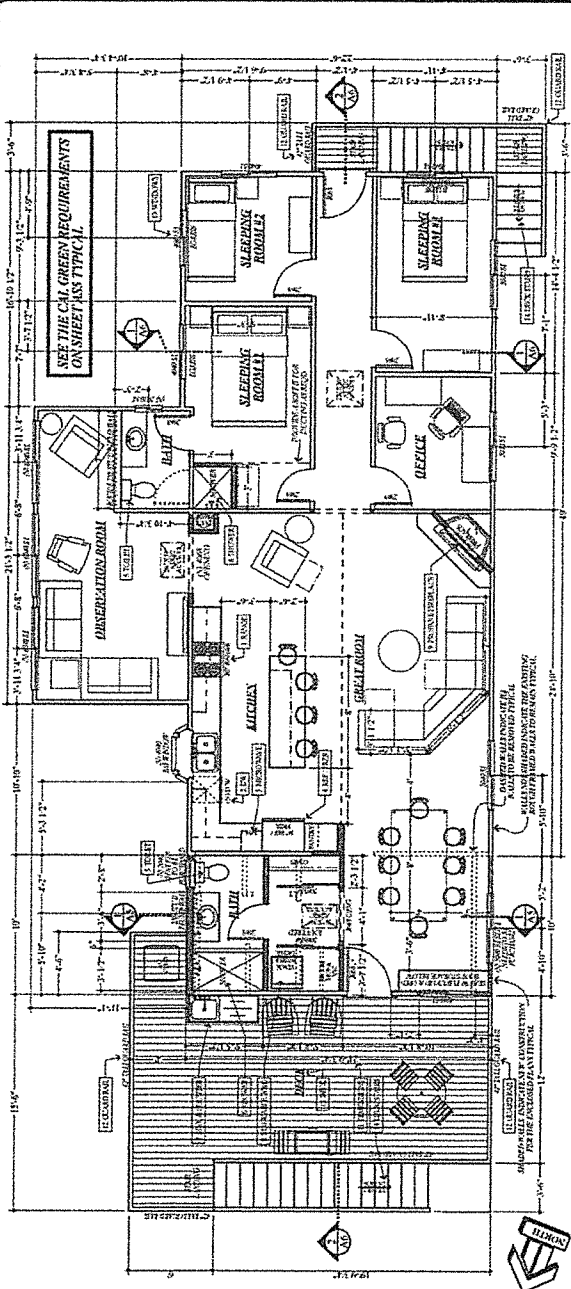
DATE: 12-29-19  
 SCALE: AS NOTED  
 SHEET DISPOSITION: FLOOR PLAN

CHECK NUMBER: A2 & A6  
 W/2 SHEETS TOTAL

PROJECT TITLE: VACATION HOME PLANS  
 ARCHITECT: JAMES GEORGE DESIGNS  
 20 LEMON HILL TRAIL  
 NORTH OAK, PASADENA  
 CALIF. 91105  
 PHONE: 626-797-1000  
 WWW.JAMESGEORGEDSIGNS.COM

CLASSIFIED BY: JAMES GEORGE  
 PROJECT NO: 046-190-160

THESE PLANS ARE CONSIDERED PERMANENT AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A WRITTEN SIGNATURE OF JAMES GEORGE, ALONG WITH THE GOVERNING AGENCY REVIEW SEAL OF APPROVAL AND WRITTEN SIGNATURE.



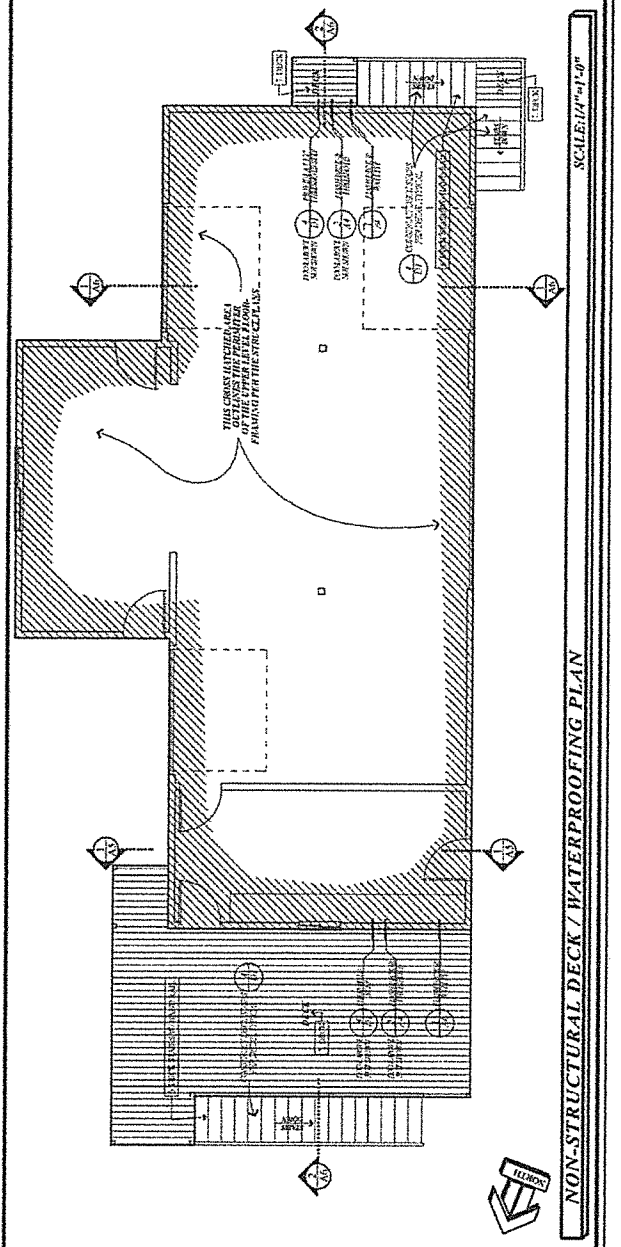
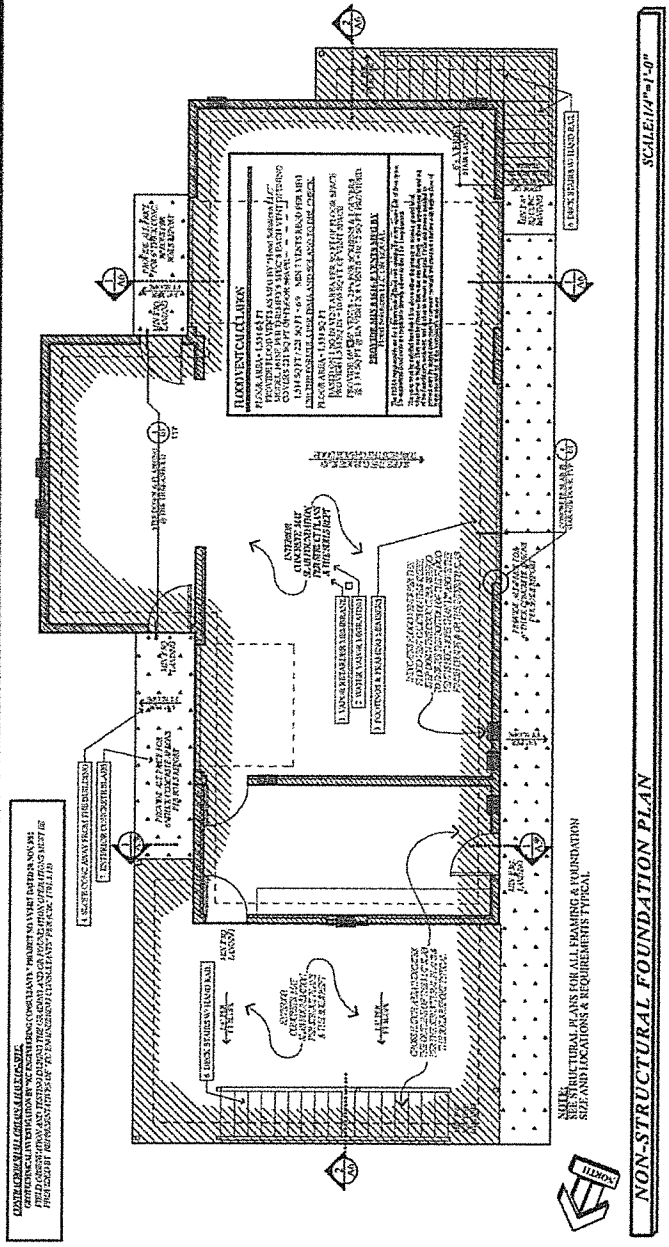
- FLOOR PLAN REFERENCE NOTES:**
1. Refer to sheet A5 for notes regarding the California Green Building Code (CBC) and other requirements.
  2. Refer to sheet A6 for notes regarding the California Building Code (CBC) and other requirements.
  3. Refer to sheet A7 for notes regarding the California Building Code (CBC) and other requirements.
  4. Refer to sheet A8 for notes regarding the California Building Code (CBC) and other requirements.
  5. Refer to sheet A9 for notes regarding the California Building Code (CBC) and other requirements.
  6. Refer to sheet A10 for notes regarding the California Building Code (CBC) and other requirements.
  7. Refer to sheet A11 for notes regarding the California Building Code (CBC) and other requirements.
  8. Refer to sheet A12 for notes regarding the California Building Code (CBC) and other requirements.
  9. Refer to sheet A13 for notes regarding the California Building Code (CBC) and other requirements.
  10. Refer to sheet A14 for notes regarding the California Building Code (CBC) and other requirements.
  11. Refer to sheet A15 for notes regarding the California Building Code (CBC) and other requirements.
  12. Refer to sheet A16 for notes regarding the California Building Code (CBC) and other requirements.
  13. Refer to sheet A17 for notes regarding the California Building Code (CBC) and other requirements.
  14. Refer to sheet A18 for notes regarding the California Building Code (CBC) and other requirements.
  15. Refer to sheet A19 for notes regarding the California Building Code (CBC) and other requirements.
  16. Refer to sheet A20 for notes regarding the California Building Code (CBC) and other requirements.
  17. Refer to sheet A21 for notes regarding the California Building Code (CBC) and other requirements.
  18. Refer to sheet A22 for notes regarding the California Building Code (CBC) and other requirements.
  19. Refer to sheet A23 for notes regarding the California Building Code (CBC) and other requirements.
  20. Refer to sheet A24 for notes regarding the California Building Code (CBC) and other requirements.

- PARTIAL PLUMBING REQUIREMENTS:**
- MINIMUM REQUIREMENTS FOR MECHANICAL AND ELECTRICAL:**
1. The building shall be designed to meet the minimum requirements for mechanical and electrical systems as specified in the applicable codes.
  2. The building shall be designed to meet the minimum requirements for mechanical and electrical systems as specified in the applicable codes.
  3. The building shall be designed to meet the minimum requirements for mechanical and electrical systems as specified in the applicable codes.
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- PARTIAL FLOOR PLAN GENERAL NOTES:**
1. The building shall be designed to meet the minimum requirements for mechanical and electrical systems as specified in the applicable codes.
  2. The building shall be designed to meet the minimum requirements for mechanical and electrical systems as specified in the applicable codes.
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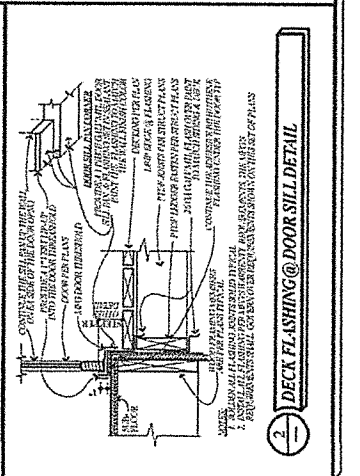
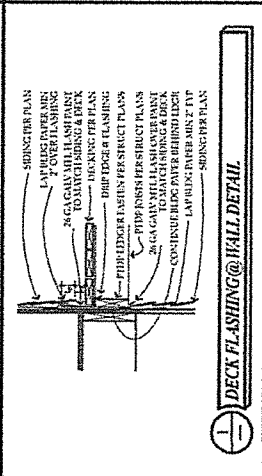


**PARTIAL NON-STRUCT FNDN NOTES:**

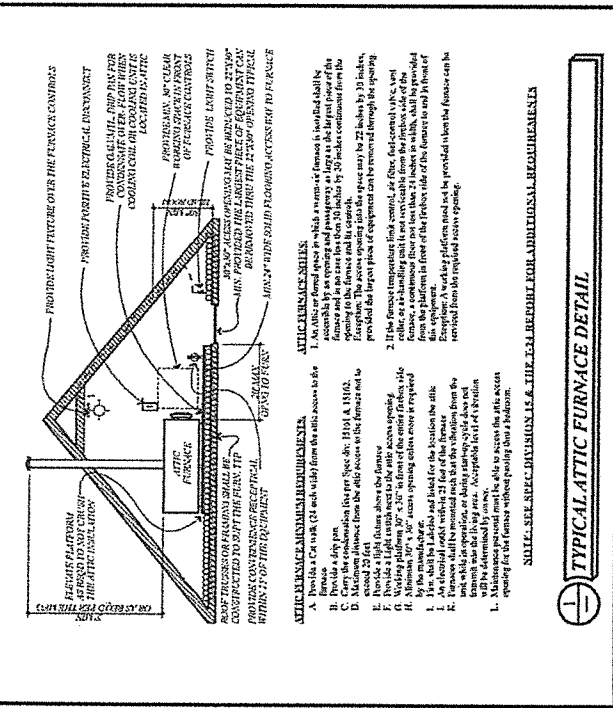
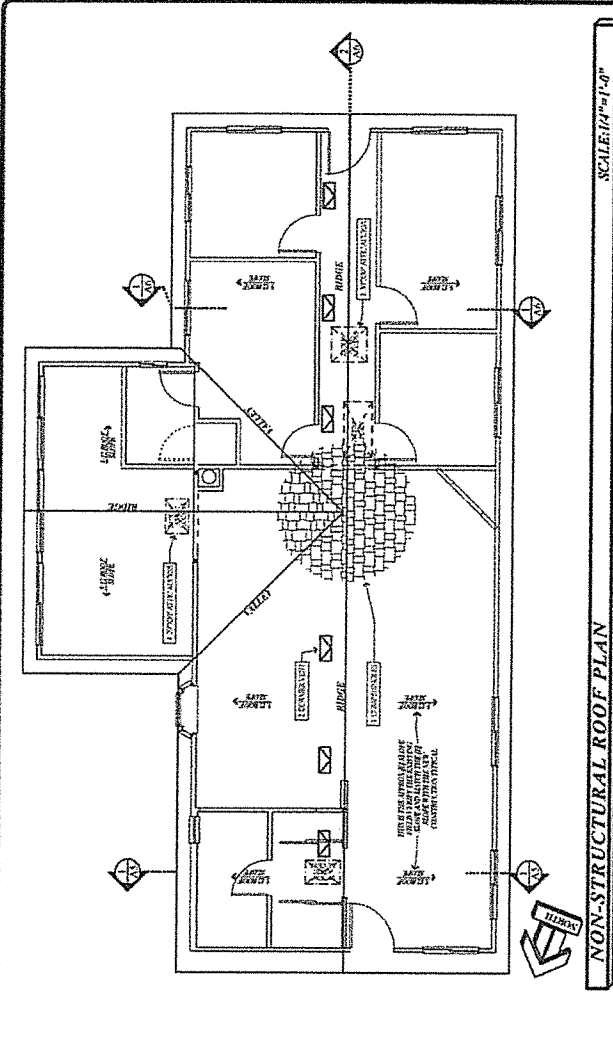
- FOUNDATION SHALL BE CONSTRUCTED ON UNDISTURBED FIRM SOILS.
- TYPE OF FOUNDATION SHALL BE DETERMINED BY THE SOILS REPORT. THE FOUNDATION SHALL BE DESIGNED TO SUPPORT THE LOADS OF THE STRUCTURE AND TO RESIST THE EFFECTS OF WIND AND SEISMIC FORCES.
- ALL FOUNDATION ELEMENTS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4\"/>

**KEY NOTES FOR THIS SHEET:**

- FOUNDATION SHALL BE CONSTRUCTED ON UNDISTURBED FIRM SOILS.
- TYPE OF FOUNDATION SHALL BE DETERMINED BY THE SOILS REPORT. THE FOUNDATION SHALL BE DESIGNED TO SUPPORT THE LOADS OF THE STRUCTURE AND TO RESIST THE EFFECTS OF WIND AND SEISMIC FORCES.
- ALL FOUNDATION ELEMENTS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4\"/>



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**ROOF PLAN KEY NOTES:**

1. Flashing shall be installed in accordance with the manufacturer's instructions.
2. All roof surfaces shall be finished with a minimum of 1/2\"/>

**PARTIAL NON-STRUCT. ROOF NOTES:**

SEE THE CONSTRUCTION ADDITIONAL REQUIREMENTS FOR THE CONSTRUCTION OF THE ROOF.

1. The contractor shall be responsible for the safety of the workmen and the property of the owner.
2. The contractor shall be responsible for the safety of the workmen and the property of the owner.
3. The contractor shall be responsible for the safety of the workmen and the property of the owner.
4. The contractor shall be responsible for the safety of the workmen and the property of the owner.
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10. The contractor shall be responsible for the safety of the workmen and the property of the owner.

**BUILDING SECTION KEY NOTES:**

1. The contractor shall be responsible for the safety of the workmen and the property of the owner.
2. The contractor shall be responsible for the safety of the workmen and the property of the owner.
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9. The contractor shall be responsible for the safety of the workmen and the property of the owner.
10. The contractor shall be responsible for the safety of the workmen and the property of the owner.

**NON-STRUCTURAL ROOF PLAN**  
SCALE: 1/4\"/>

**BUILDING SECTION THRU BEDROOM, HALLWAY, BEDROOM #1**  
SCALE: 3/8\"/>

**TYPICAL ATIC FURNACE DETAIL**  
SCALE: 3/8\"/>

**ATIC FURNACE NOTES:**

1. An atic furnace shall be installed in accordance with the manufacturer's instructions.
2. The furnace shall be installed on a concrete foundation.
3. The furnace shall be installed on a concrete foundation.
4. The furnace shall be installed on a concrete foundation.
5. The furnace shall be installed on a concrete foundation.
6. The furnace shall be installed on a concrete foundation.
7. The furnace shall be installed on a concrete foundation.
8. The furnace shall be installed on a concrete foundation.
9. The furnace shall be installed on a concrete foundation.
10. The furnace shall be installed on a concrete foundation.

**NON-STRUCTURAL ROOF PLAN**  
SCALE: 1/4\"/>

**BUILDING SECTION THRU BEDROOM, HALLWAY, BEDROOM #1**  
SCALE: 3/8\"/>

**TYPICAL ATIC FURNACE DETAIL**  
SCALE: 3/8\"/>



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**JAMES GEORGE DESIGNS**  
707 7th Street  
San Francisco, California  
Phone 338-1111

**CLASSIFICATION:**  
RESIDENTIAL  
SINGLE-FAMILY  
COTTAGE

**REMARKS:**  
SEE ARCHITECT'S NOTES FOR DETAILS AND SPECIFICATIONS.

**PROJECT TITLE:**  
VACATION HOME PLANS

**"A" DOOR & WINDOW FLASHING INSTALLATION**

**"B" DOOR & WINDOW FLASHING SECTIONS**

**"C" TYPICAL NOTCHING & BORING DETAIL**

**"D" TYPICAL THRESHOLD**

**"E" FIRE SEPARATION DETAIL**

**"F" GARAGE DOOR THRESHOLD**

**"G" DECKSTAIR DETAIL**

**SEE DETAIL #S2.00 FOR STRUCTURE REQUIREMENTS**

**GENERAL NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPEFITTERS (IAPF) STANDARDS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) STANDARDS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CONTRACTORS ASSOCIATION (NMAC) STANDARDS.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLASTERERS AND CONCRETE FINISHERS ASSOCIATION (NPCA) STANDARDS.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL WOODWORKERS AND CABINETMAKERS ASSOCIATION (NWWA) STANDARDS.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PAINT AND COATINGS ASSOCIATION (NAPCA) STANDARDS.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ARCHITECTS (AIA) STANDARDS.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOME BUILDERS (NAHB) STANDARDS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF REALTORS (NAR) STANDARDS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOMEOWNERS (NAHO) STANDARDS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOMEOWNERS AND BUILDERS (NAHAB) STANDARDS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOMEOWNERS AND BUILDERS (NAHAB) STANDARDS.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOMEOWNERS AND BUILDERS (NAHAB) STANDARDS.
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20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOMEOWNERS AND BUILDERS (NAHAB) STANDARDS.

**SOLANO COUNTY ZONING ADMINISTRATOR  
RESOLUTION NO. 15-06**

**WHEREAS**, the Solano County Zoning Administrator has considered Use Permit Application No. U-14-04 of **Clarke Rosa** for a 1,534 square foot seasonally occupied (private) clubhouse to support marsh oriented recreation at 2864 Grizzly Island Road, 5 miles south of the City of Suisun City in an "MP" Marsh Preservation Zoning District, APN: 0046-190-160, and;

**WHEREAS**, said Zoning Administrator has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on April 16, 2015, and;

**WHEREAS**, after due consideration, the Zoning Administrator has made the following findings in regard to said proposal:

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the Solano County General Plan with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan.**

The marsh oriented recreation land use is consistent with the goals, objectives, and policies of the General Plan, including, but not limited to the Land Use and Resources chapters.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

Access to the site is from an existing private road off Gum Tree Road. All necessary utilities, including potable water and septic disposal will be provided on-site.

- 3. The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The project site will continue to be utilized for seasonal marsh oriented recreation. Primary and Secondary Management Areas of the Suisun Marsh surround the project site, whereas seasonal hunting and fishing clubs are the predominant land use and development within the Marsh. The Department does not have a record of the project site generating a nuisance or being a detriment to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, or detriment or injury to property and improvements in the neighborhood.

**SUGGESTED FINDINGS**

- 4. The proposed project qualifies for a Class 3 Categorical Exemption from CEQA.**

The project qualifies for a Categorical Exemption from CEQA, under CEQA Guidelines Section 15302 – Replacement or Reconstruction. Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

**BE IT THEREFORE RESOLVED**, that the Zoning Administrator has approved Use Permit Application No. U-14-04 subject to the following recommended conditions of approval:

1. The marsh oriented recreation facility shall be established and operated in accord with the application materials for Use Permit U-14-04, submitted November 25, 2014 for Clarke Rosa, and as approved by the Solano County Zoning Administrator.
2. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.
3. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."
4. The project is located in a Flood Zone and the building shall be raised a minimum of one foot above the Base Flood Elevation and a Pre- and Post elevation certificate shall be provided to the building division for review and approval.
5. Prior to Building Permit issuance by the Department of Resource Management, the permittee shall submit documentation from the San Francisco Bay Conservation and Development Commission, confirming acquisition of the requisite Marsh Development Permit.
6. Upon termination, expiration, or revocation of the subject use permit, the permitted structure shall be removed from the site and the area restored to natural conditions.
7. The permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date of April 16, 2020 and the use remains in compliance with permit conditions of approval.

\*\*\*\*\*

I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Zoning Administrator on April 16, 2015.

BILL EMLÉN, DIRECTOR  
RESOURCE MANAGEMENT



Michael Yankovich  
Planning Program Manager





DEPARTMENT OF RESOURCE MANAGEMENT

Planning Services Division

675 Texas Street, Suite 5500, Fairfield, CA 94533

Phone (707) 784-6765 Fax (707) 784-4805

www.solanocounty.com

APPEAL REQUEST FORM

1. Name of Appellant: Art Garben Telephone: 707 425-0629

Email address: art@garbenrealestate

2. Mailing Address: 720 Webster st City: Fairfield State: Ca Zip: 94534

3. Appealed to: [X] Planning Commission [ ] Board of Supervisors

4. Appeal Fee: \$150.00 [X] Receipt # 1023179

5. State the application name and reason(s) why the decision making body erred in its decision. Attach additional sheets if necessary:

USE PERMIT # U-14-04

survey shows right of way through new house

site plan shows the right of way in direct conflict with the survey

ENVIRONMENTAL LIST B: VISTAS CHANGE FROM OTHER PROPERTIES.

Appellants Signature:

[Handwritten Signature]

Date:

4.27.15

Found wooden pile stub, and remains of old wooden flood gate. Accepted as position of old flood gate per R-1 and R-3 shown as being on the Line between Lot 9 and Lot 10. N24°00'00"W 14.0 feet from the top of bank.

- LEGEND**
- or ○ Found Monument as Noted
  - Set 3/4" x 24" Iron Pipe Tagged LS 7973
  - R-1 3 Maps 25
  - R-2 10 RS 32
  - R-3 Map to Establish Division Line Between Lots 11 & 12 On Grisy Island Solano County Cal. By E.M. Eager February 1907, on file with the Solano County Surveyor as Miscellaneous Maps Folder 31 Map 29.
  - R-4 Map of the Estate of Rosa Vennik Showing Area Distributed To Her Children on Grisy Island Solano County California, by John R. Burnham LS 222, August 1941 on file with the Solano County Surveyor as Miscellaneous Maps Folder 31 Map 13.
  - R-5 Instrument No. 2012-68900
  - M Measured

**RECORD OF SURVEY**

OF A PORTION OF THE LANDS OF  
**ROSA**

INSTRUMENT NO. 2012-68900  
Being a Portion of Lot 10 as shown on a Map of Grisy Island By R.H. Streech in 1871 Filed in Bk. 41 Deeds Pg. 160 SOLANO COUNTY CALIFORNIA DECEMBER 2012

Ty Hawkins LS 7973  
3036 Oak Canyon Ln.  
Vacaville Ca. 95688  
(707) 974-9890

**SURVEYORS STATEMENT**

This map correctly represents a survey by me or under my direction in accordance with the Professions Land Surveyor's Act. at the request of Clarke Rosa in December 2012.



BY: *Ty Hawkins*  
Ty Hawkins  
LS 7973

**COUNTY SURVEYORS STATEMENT**

This map has been examined in accordance with Section 8766 of the Professional Land Surveyor's Act this 22nd day of May 2013.

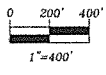
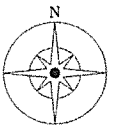
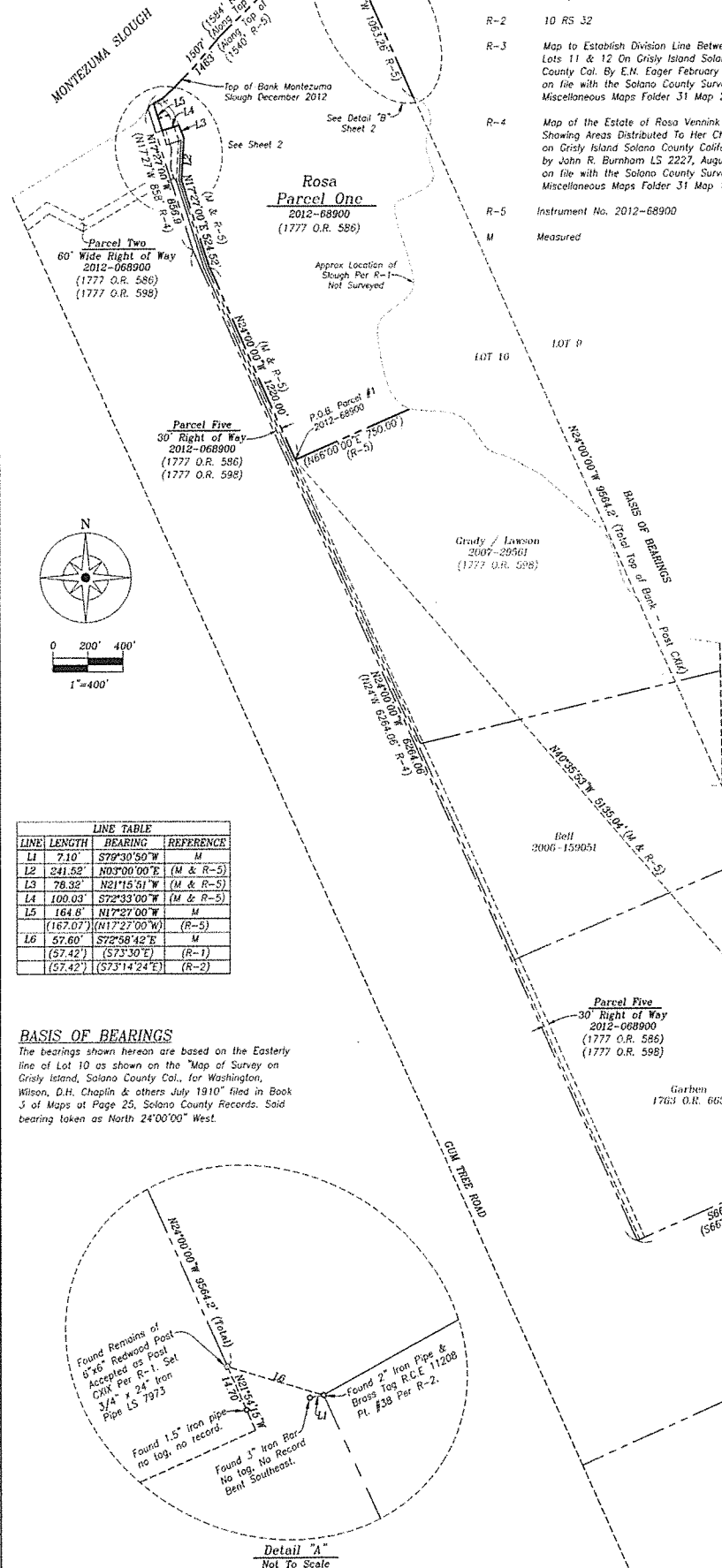


BY: *Stanley J. Schram*  
Solano County Surveyor  
Stanley J. Schram  
LS 7409

**COUNTY RECORDERS STATEMENT**

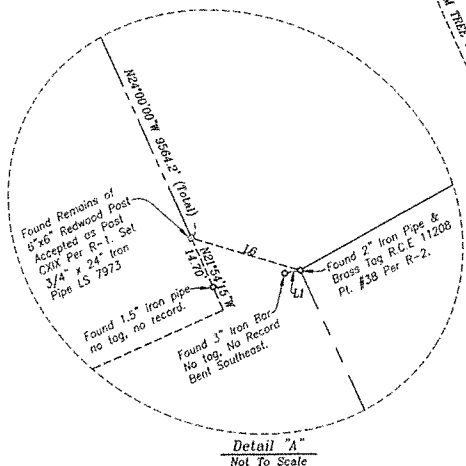
Filed this 28th day of May 2013 of 8:51 AM in Book 30 of Surveys at Page 100, at the request of Clarke Rosa. 2013-53057

BY: *Marc C. Tonnesen*  
Marc Tonnesen  
County Assessor/Recorder  
*W. S. Wood*  
Deputy



LINE	LENGTH	BEARING	REFERENCE
L1	7.10'	S78°30'50"W	M
L2	241.52'	N03°00'00"E	(M & R-5)
L3	78.32'	N21°15'51"W	(M & R-5)
L4	109.03'	S72°33'00"W	(M & R-5)
L5	164.8'	N17°27'00"W	M
	(163.07')	(N17°27'00"W)	(R-5)
L6	57.60'	S72°58'42"E	M
	(57.42')	(S73°30'E)	(R-1)
	(57.42')	(S73°14'24"E)	(R-2)

**BASIS OF BEARINGS**  
The bearings shown hereon are based on the Easterly line of Lot 10 as shown on the "Map of Survey on Grisy Island, Solano County Cal., for Washington, Wilson, D.H. Chaplin & others July 1910" filed in Book 3 of Maps at Page 25, Solano County Records. Said bearing taken as North 24°00'00" West.



Detail "A"  
Not To Scale

30 RS 100

# RECORD OF SURVEY

OF A PORTION OF THE LANDS OF

**ROSA**

INSTRUMENT NO. 2012-68900

Being a Portion of Lot 10 as shown on a  
Map of Grisy Island By R.H. Storch in 1871  
Filed in Bk. 41 Deeds Pg. 160

SOLANO COUNTY CALIFORNIA  
DECEMBER 2012

Ty Hawkins LS 7973  
3638 Oak Canyon Ln.  
Vacaville Ca. 94989  
(707) 974-8680

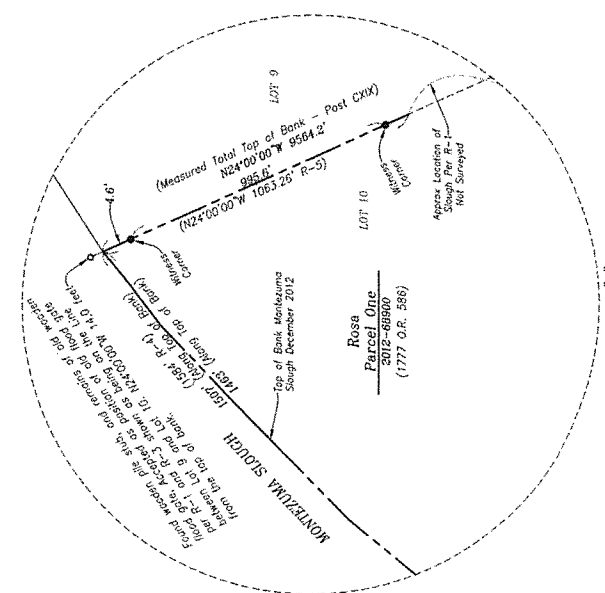
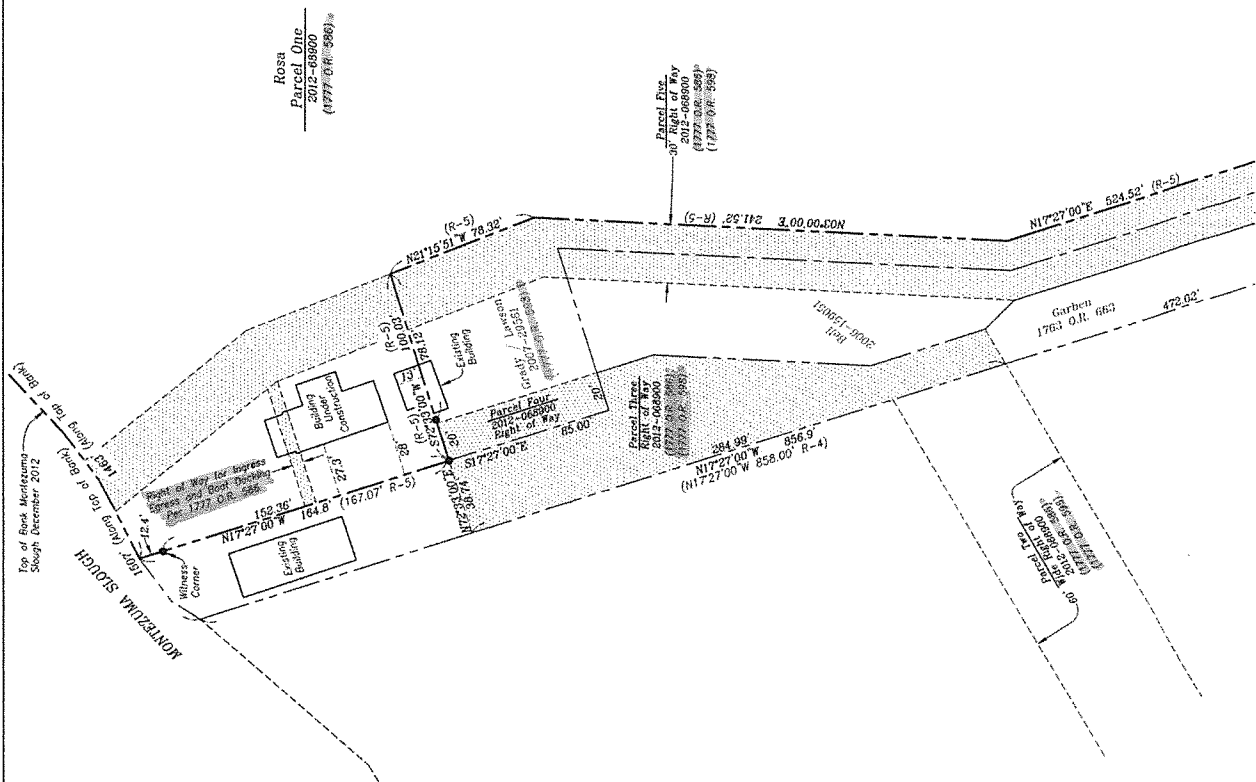


## BASIS OF BEARINGS

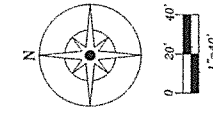
The bearings shown hereon are based on the Easterly line of Lot 10 as shown on the "Map of Survey on Grisy Island, Solano County Cal., for Washington, Wilson, D.H. Chapin & others July 1910" filed in Book 3 of Maps at Page 25, Solano County Records. Said bearing taken as North 24°00'00" West.

## LEGEND

- Found Monument as Noted
- Set 3/4" x 24" Iron Pipe Tagged LS 7973
- R-1 3 Maps 25
- R-2 10 RS 32
- R-3 Map to Establish Division Line Between Lots 11 & 12 On Grisy Island Solano County Cal. By E.H. Eager February 1907, on file with the Solano County Surveyor as Miscellaneous Maps Folder 31 Map 29.
- R-4 Map of the Estate of Rosa Verminik Showing Acres Distributed To Her Children on Grisy Island Solano County California, by John R. Burdick LS 2227, August 1941 on file with the Solano County Surveyor as Miscellaneous Maps Folder 31 Map 13.
- R-5 Instrument No. 2012-68900
- M Measured



Detail 'B'  
NOT TO SCALE



21874

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

Name C. C. DeWitt, Jr.  
Street Address One Embarcadero Center, Suite 2401  
City & State San Francisco, Calif. 94111

RECORDED AT REQUEST OF  
TITLE INSURANCE AND TRUST COMPANY

SEP 22 1972

OFFICIAL RECORDS OF  
SOLANO COUNTY, CALIF.

Signature of Recorder

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO

Name  
Street Address Same as above  
City & State

\*DOCUMENTARY TRANSFER TAX

DOCUMENTARY TRANSFER TAX \$ 57.75  
Computed on full value of property conveyed  
Or computed on full value less liens and encumbrances remaining at time of sale.  
Signature of Declarant or Agent determining tax T. I.  
Firm Name

Grant Deed

D.T.T.S.

TO 405 CA (9-68)

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
ARTHUR E. GARBEN and WAUNITA F. GARBEN, his wife  
hereby GRANT(S) to  
CLINTON C. DeWITT, JR. and GAIL G. DeWITT, his wife, as Community Property  
the following described real property in the  
County of Solano, State of California:

See Exhibit "A" attached hereto and made a part hereof.

Dated September 20, 1972

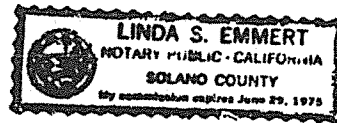
Arthur E. Garben  
Arthur E. Garben

STATE OF CALIFORNIA }  
COUNTY OF Solano } ss.  
On Sept. 21, 1972 before me, the undersigned, a Notary Public in and for said State, personally appeared  
Arthur E. Garben and  
Waunita F. Garben

Waunita F. Garben  
Waunita F. Garben

known to me to be the person s whose name s are subscribed to the within instrument and acknowledged that they executed the same.  
WITNESS my hand and official seal.

Signature Linda S. Emmert  
Linda S. Emmert  
Name (Typed or Printed)



BOOK 1777 PAGE 586

Title Order No. Escrow or Loan No.

MAIL TAX STATEMENTS AS DIRECTED ABOVE

EXHIBIT F

EXHIBIT A

DESCRIPTION

ALL THAT REAL PROPERTY IN THE COUNTY OF SOLANO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

BEGINNING AT A POINT NORTH 24° WEST 1946.34 FEET ALONG THE LINE BETWEEN LOTS 9 AND 10 OF GRISLY ISLAND AND NORTH 40° 35' 53" WEST 5135.04 FEET FROM POST CXIX AS SAID POST AND LINES ARE DESCRIBED IN THE BOUNDARY OF THAT CERTAIN 495 ACRE TRACT DESCRIBED IN A DECREE OF DISTRIBUTION OF ESTATE OF HENRY L. VENNICK WHICH WAS RECORDED APRIL 11, 1938 IN THE OFFICE OF THE SOLANO COUNTY RECORDER IN BOOK 183 OF OFFICIAL RECORDS ON PAGE 484; THENCE FROM SAID POINT OF BEGINNING NORTH 24° WEST 1220 FEET; THENCE NORTH 17° 27' WEST 524.52 FEET; THENCE NORTH 03° EAST 241.52 FEET; THENCE NORTH 21° 15' 51" WEST 78.32 FEET; THENCE SOUTH 72° 33' WEST 100.03 FEET; THENCE NORTH 17° 27' WEST 167.07 FEET TO THE SOUTHERLY BANK OF MONTEZUMA SLOUGH; THENCE ALONG SAID SOUTHERLY BANK NORTHEASTERLY ABOUT 1540 FEET TO THE BOUNDARY BETWEEN SAID LOTS 9 AND 10 AS HEREINBEFORE REFERRED TO; THENCE ALONG THE DIVISION LINE BETWEEN LOTS 9 AND 10 SOUTH 24° EAST 1063.26 FEET TO THE MIDDLE OF A SMALL SLOUGH WHICH IS ONE OF THE PRINCIPAL BRANCHES OF TREE SLOUGH; THENCE DOWN THE MIDDLE OF SAID SMALL SLOUGH IN A SOUTHEASTERLY DIRECTION ABOUT 2320 FEET TO A POINT BEARING NORTH 66° EAST 750 FEET FROM THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE FROM SAID POINT SOUTH 66° WEST 750 FEET TO THE POINT OF BEGINNING.

ALL AS SAID LOTS ARE SHOWN ON THAT MAP OF GRISLY ISLAND, MADE BY R. H. STRETCH IN 1871 WHICH MAP IS RECORDED IN BOOK 41 OF DEEDS AT PAGE 160, SOLANO COUNTY RECORDS, AND IS ALSO SHOWN BY MAP MADE BY E. N. EAGER, COUNTY SURVEYOR AND RECORDED SEPTEMBER 10, 1910 IN BOOK 3 OF MAPS, PAGE 25, SOLANO COUNTY RECORDS.

SAVING AND EXCEPTING THEREFROM ALL OIL, GAS AND OTHER HYDROCARBONS AND MINERALS NOW OR AT ANY TIME HEREAFTER SITUATE THEREIN AND THEREUNDER TOGETHER WITH ALL EASEMENTS AND RIGHTS NECESSARY, INCIDENTAL, CONVENIENT OR OTHERWISE APPURTENANT TO THE EXPLORATION FOR, PRODUCTION, STORAGE AND TRANSPORTATION THEREOF, AND ALSO THE RIGHT TO DRILL FOR, PRODUCE, AND USE WATER FROM SAID REAL PROPERTY IN CONNECTION WITH ANY DRILLING OR MINING OPERATIONS THEREON, AS SAVED AND EXCEPTED IN THE DEED RECORDED JULY 18, 1972 IN BOOK 1763 OF OFFICIAL RECORDS PAGE 663, AS INSTRUMENT NO. 16156.

PARCEL TWO:

THE NON-EXCLUSIVE RIGHT TO USE A RIGHT OF WAY 60 FEET IN WIDTH AS GRANTED IN THE DEED FROM HOWARD L. VENNICK, ET AL, TO WILMA BOWLES DATED MAY 29, 1942 AND RECORDED JUNE 4, 1942 IN BOOK 261 OF OFFICIAL RECORDS, PAGE 174, AS INSTRUMENT NO. 5569 AND AS RESERVED IN THE DEED FROM HOWARD L. VENNICK, ET AL, TO RACHEL VENNICK DATED MAY 29, 1942 AND RECORDED JUNE 4, 1942 IN BOOK 261 OF OFFICIAL RECORDS, PAGE 176, AS INSTRUMENT NO. 5570, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH POINT OF BEGINNING IS DESCRIBED AS FOLLOWS: COMMENCING AT SAID POST CXIX; THENCE NORTH 24° WEST 29.49 CHAINS, SOUTH 66° WEST 22.92 CHAINS; NORTH 24° WEST 94.91 CHAINS AND NORTH 17° 27' WEST 6.47 CHAINS TO THE POINT OF BEGINNING OF THE RIGHT OF WAY HEREIN DESCRIBED THENCE SOUTH 59° 26' WEST 8.78 CHAINS, NORTH 62° 44' WEST, 3.34 CHAINS AND SOUTH 51° 43' WEST 2.28 CHAINS TO THE SOUTHWEST BOUNDARY OF SAID 495 ACRE TRACT, THENCE ALONG SAME NORTH 24° WEST 0.94 CHAINS; THENCE LEAVING SAID BOUNDARY NORTH 51° 43' EAST 2.63 CHAINS; SOUTH 62° 44' EAST 3.43 CHAINS, NORTH 59° 26' EAST 8.50 CHAINS AND SOUTH 17° 27' EAST, .95 CHAINS TO THE POINT OF BEGINNING.

AS SAID LOTS ARE SHOWN ON THAT MAP OF SAID ISLAND, MADE BY R. H. STRETCH IN 1871 WHICH MAP IS RECORDED IN BOOK 41 OF DEEDS, PAGE 160, SOLANO COUNTY RECORDS AND IS ALSO SHOWN BY MAP MADE BY E. N. EAGER, COUNTY SURVEYOR AND RECORDED SEPTEMBER 10, 1910 IN BOOK 3 OF MAPS, PAGE 25, SOLANO COUNTY RECORDS.

PARCEL THREE:

A NON-EXCLUSIVE RIGHT OF WAY FOR INGRESS, EGRESS AND PARKING OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT ON THE WESTERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY, SAID POINT BEARS NORTH 24° WEST 6264.06 FEET AND NORTH 17° 27' WEST 427.02 FEET FROM THE MOST SOUTHERLY CORNER OF SAID GARBEN PARCEL; THENCE FROM SAID POINT OF BEGINNING NORTH 17° 27' WEST ALONG THE WESTERLY LINE OF SAID PARCEL A DISTANCE OF 284.99 FEET; THENCE LEAVING SAID LINE NORTH 72° 33' EAST 38.74 FEET; THENCE SOUTH 17° 27' EAST 85.00 FEET; THENCE NORTH 72° 33' EAST 20.00 FEET; THENCE SOUTH 17° 27' EAST 30.00 FEET; THENCE SOUTH 03° WEST 110.88 FEET; THENCE SOUTH 17° 27' EAST 61.44 FEET; THENCE SOUTH 59° 26' WEST 20.54 FEET TO THE POINT OF BEGINNING, SOLANO COUNTY, CALIFORNIA.

PARCEL FOUR.

A NON-EXCLUSIVE RIGHT OF WAY FOR INGRESS, EGRESS AND PARKING OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT IN THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY, SAID POINT BEARS NORTH 24° WEST 6264.06 FEET, NORTH 17° 27' WEST 712.01 FEET AND NORTH 72° 33' EAST 38.74 FEET FROM THE MOST SOUTHERLY CORNER OF SAID GARBEN PARCEL; THENCE FROM SAID POINT OF BEGINNING NORTH 72° 33' EAST 20.00 FEET; THENCE SOUTH 17° 27' EAST 85.00 FEET; THENCE SOUTH 72° 33' WEST 20.00 FEET; THENCE NORTH 17° 27' WEST 85.00 FEET TO THE POINT OF BEGINNING, SOLANO COUNTY, CALIFORNIA.

PARCEL FIVE:

A NON-EXCLUSIVE RIGHT OF WAY 30.00 FEET IN WIDTH FOR THE TRANSPORTATION OF WATER AND BOAT PASSAGE, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT THAT BEARS NORTH 24° WEST 6264.06 FEET AND NORTH 17° 27' WEST 858 FEET AND NORTH 44° EAST 85 FEET FROM THE MOST SOUTHERLY CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY; THENCE FROM SAID POINT OF BEGINNING AS FOLLOWS: SOUTH 39° EAST 120 FEET, SOUTH 21° 15' 51" EAST 150.33 FEET, SOUTH 03° WEST 240 FEET, SOUTH 17° 27' EAST 520 FEET AND SOUTH 24° EAST 6151.78 FEET TO THE SOUTHERLY BOUNDARY OF THE GARBEN PROPERTY HEREINBEFORE REFERRED TO.

RESERVING TO THE GRANTORS HEREIN THEIR HEIRS AND ASSIGNS:

1. A NON-EXCLUSIVE RIGHT OF WAY 30.00 FEET IN WIDTH FOR THE TRANSPORTION OF WATER AND BOAT PASSAGE, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT THAT BEARS NORTH 24° WEST 6264.06 FEET AND NORTH 17° 27' WEST 858 FEET AND NORTH 44° EAST 85 FEET FROM THE MOST SOUTHERLY CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY; THENCE FROM SAID POINT OF BEGINNING AS FOLLOWS: SOUTH 39° EAST 120 FEET, SOUTH 21° 15' 51" EAST 150.33 FEET, SOUTH 03° WEST 240 FEET, SOUTH 17° 27' EAST 520 FEET AND SOUTH 24° EAST 6151.78 FEET TO THE SOUTHERLY BOUNDARY OF THE GARBEN PROPERTY HEREINBEFORE REFERRED TO.

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

Name  
Street Address  
City & State  
Hiram L. Hendricks  
35 Muller St.  
Vallejo, Calif. 94590

21876

RECORDED BY MEMBER OF  
TITLE INSURANCE AND TRUST COMPANY

SEP 22 1972

OFFICIAL RECORDS F...  
SOLANO COUNTY, CALIF.  
Raymond E. Smith  
Notary Public - Solano

MAIL TAX STATEMENTS TO

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Name  
Street Address  
City & State  
Same as above

\*DOCUMENTARY TRANSFER TAX

DOCUMENTARY TRANSFER TAX \$ 46.75  
... Computed on full value of property conveyed  
... Or computed on full value less liens and encumbrances remaining at time of sale.

Signature of Declarant or Agent determining tax - Firm Name

### Grant Deed

D.T.T. \$

TO 405 CA (9-68)

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

ARTHUR E. GARBEN and WAUNITA F. GARBEN, his wife

hereby GRANT(S) to

See Exhibit "A" attached hereto and made a part hereof for Grantees.

the following described real property in the

County of Solano

, State of California:

See Exhibit "B" attached hereto and made a part hereof for description.

Dated September 8, 1972

*Arthur E. Garben*  
Arthur E. Garben  
*Waunita F. Garben*  
Waunita F. Garben

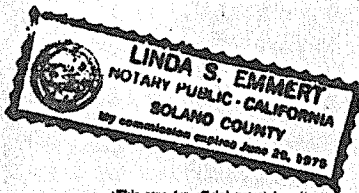
STATE OF CALIFORNIA }  
COUNTY OF Solano } ss.

On September 21, 1972 before me, the undersigned, a Notary Public in and for said State, personally appeared  
Arthur E. Garben  
Waunita F. Garben

known to me to be the person whose names are subscribed to the within instrument and acknowledged that they executed the same. WITNESS my hand and official seal.

Signature *Linda S. Emmert*  
Linda S. Emmert  
Name (Typed or Printed)

EGOR 1777 PAGE 598



(This area for official notarial seal)

Title Order No. 90797

Escrow or Loan No.

MAIL TAX STATEMENTS AS DIRECTED ABOVE



EXHIBIT "A"

E. KEITH FRANC and JOAN FRANC, his wife as to an undivided One-Sixth (1/6) Interest; LAWRENCE BIANCHI and MARGARET M. BIANCHI, his wife as to an undivided One-Sixth (1/6) Interest; ERNEST NUNN and NORMA W. NUNN, his wife, as to an undivided One-Sixth (1/6) Interest; HIRAM L. HENDRICKS and LOLA MAE HENDRICKS, his wife, as to an undivided One-Sixth (1/6) Interest; HOWARD COGHILL and LEOTA M. COGHILL, his wife, as to an undivided One-Sixth (1/6) Interest; and JOHN FRATES and VERA L. FRATES, his wife, as to an undivided One-Sixth (1/6) Interest.

EXHIBIT "A"

DESCRIPTION

ALL THAT REAL PROPERTY IN THE COUNTY OF SOLANO, STATE OF CALIFORNIA,  
DESCRIBED AS FOLLOWS:

PARCEL ONE:

BEGINNING AT A POINT ON THE EASTERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN PARCEL 1 OF DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY, BEARING NORTH 24° WEST 1946.34 FEET ALONG THE LINE BETWEEN LOTS 9 AND 10 OF GRISLY ISLAND AND NORTH 18° 40' 41" WEST 2822.40 FEET FROM POST CXIX AS SAID POST AND LINE ARE DESCRIBED IN THE BOUNDARY OF THAT CERTAIN 495 ACRE TRACT DESCRIBED IN A DECREE OF DISTRIBUTION OF ESTATE OF HENRY L. VENNICK WHICH WAS RECORDED APRIL 11, 1938 IN THE OFFICE OF THE SOLANO COUNTY RECORDER IN BOOK 183 OF OFFICIAL RECORDS ON PAGE 484, SAID POINT OF BEGINNING BEING IN A FENCE LINE ON THE EASTERLY LINE OF THE ARTHUR E. GARBEN PARCEL HEREINBEFORE REFERRED TO AND BEARING SOUTH 01° EAST 160.28 FEET FROM THE INTERSECTION THEREOF WITH THE CENTER LINE OF A SMALL SLOUGH WHICH IS ONE OF THE PRINCIPAL BRANCHES OF TREE SLOUGH; THENCE FROM SAID POINT OF BEGINNING, SOUTH 76° 27' 25" WEST TO THE CENTERLINE OF AND ALONG THE CENTERLINE OF A SMALL DITCH FOR A DISTANCE OF 1771.64 FEET TO THE INTERSECTION OF SAID SMALL DITCH WITH THE CENTERLINE OF A CANAL; THENCE ALONG THE CENTERLINE OF SAID CANAL AS FOLLOWS: NORTH 24° WEST 3020 FEET, NORTH 17° 27' WEST 520 FEET AND NORTH 03° EAST 229.33 FEET, THENCE LEAVING SAID CENTERLINE OF CANAL SOUTH 72° 33' WEST 86.27 FEET; THENCE NORTH 17° 27' WEST 85 FEET; THENCE NORTH 72° 33' EAST 100.03 FEET TO A POINT 15 FEET NORTHEASTERLY AT RIGHT ANGLES TO THE CENTERLINE OF THE CANAL AFOREMENTIONED; THENCE ALONG A LINE 15 FEET AT RIGHT ANGLES TO SAID CENTERLINE AS HEREINBEFORE DESCRIBED AS FOLLOWS: SOUTH 21° 15' 51" EAST 78.32 FEET AND SOUTH 03° EAST 241.52 FEET, SOUTH 17° 27' EAST 524.52 FEET AND SOUTH 24° EAST 1220 FEET THENCE LEAVING SAID LINE NORTH 66° EAST 750 FEET TO THE CENTER OF A SMALL SLOUGH, WHICH IS ONE OF THE PRINCIPAL BRANCHES OF TREE SLOUGH; THENCE DOWN THE MIDDLE OF SAID SMALL SLOUGH IN A SOUTHEASTERLY DIRECTION ABOUT 2300 FEET TO A POINT IN THE MIDDLE OF SAID SMALL SLOUGH ON THE NORTHERLY PROJECTION OF A FENCE; THENCE TO AND ALONG SAID FENCE SOUTH 01° EAST 160.28 FEET TO THE POINT OF BEGINNING.

ALL AS SAID LOTS ARE SHOWN ON THAT MAP OF GRISLY ISLAND, MADE BY R. H. STRETCH IN 1871 WHICH MAP IS RECORDED IN BOOK 41 OF DEEDS AT PAGE 160, SOLANO COUNTY RECORDS, AND IS ALSO SHOWN BY MAP MADE BY E. N. EAGER, COUNTY SURVEYOR AND RECORDED SEPTEMBER 10, 1910 IN BOOK 3 OF MAPS, PAGE 25, SOLANO COUNTY RECORDS.

SAVING AND EXCEPTING THEREFROM ALL OIL, GAS AND OTHER HYDROCARBONS AND MINERALS NOW OR AT ANY TIME HEREAFTER SITUATE THEREIN AND THEREUNDER TOGETHER WITH ALL EASEMENTS AND RIGHTS NECESSARY, INCIDENTAL, CONVENIENT OR OTHERWISE APPURTENANT TO THE EXPLORATION FOR, PRODUCTION, STORAGE AND TRANSPORTATION THEREOF, AND ALSO THE RIGHT TO DRILL FOR, PRODUCE, AND USE WATER FROM SAID REAL PROPERTY IN CONNECTION WITH ANY DRILLING OR MINING OPERATIONS THEREON, AS SAVED AND EXCEPTED IN THE DEED RECORDED JULY 18, 1972 IN BOOK 1763 OF OFFICIAL RECORDS PAGE 663, AS INSTRUMENT NO. 16156.

PARCEL TWO:

THE NON-EXCLUSIVE RIGHT TO USE A RIGHT OF WAY 60 FEET IN WIDTH AS GRANTED IN THE DEED FROM HOWARD L. VENNICK, ET AL, TO WILMA BOWLES DATED MAY 29, 1942 AND RECORDED JUNE 4, 1942 IN BOOK 261 OF OFFICIAL RECORDS, PAGE 174, AS INSTRUMENT NO. 5569 AND AS RESERVED IN THE DEED FROM HOWARD L. VENNICK, ET AL, TO RACHEL VENNICK DATED MAY 29, 1942 AND RECORDED JUNE 4, 1942 IN BOOK 261 OF OFFICIAL RECORDS, PAGE 176, AS INSTRUMENT NO. 5570, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH POINT OF BEGINNING IS DESCRIBED AS FOLLOWS: COMMENCING AT SAID POST CXIX; THENCE NORTH 24° WEST 29.49 CHAINS, SOUTH 66° WEST 22.92 CHAINS; NORTH 24° WEST 94.91 CHAINS AND NORTH 17° 27' WEST 6.47 CHAINS TO THE POINT OF BEGINNING OF THE RIGHT OF WAY HEREIN DESCRIBED THENCE SOUTH 59° 26' WEST 8.78 CHAINS, NORTH 62° 44' WEST, 3.34 CHAINS AND SOUTH 51° 43' WEST 2.28 CHAINS TO THE SOUTHWEST BOUNDARY OF SAID 495 ACRE TRACT, THENCE ALONG SAME NORTH 24° WEST 0.94 CHAINS; THENCE LEAVING SAID BOUNDARY NORTH 51° 43' EAST 2.63 CHAINS; SOUTH 62° 44' EAST 3.43 CHAINS, NORTH 59° 26' EAST 8.50 CHAINS AND SOUTH 17° 27' EAST, .95 CHAINS TO THE POINT OF BEGINNING.

AS SAID LOTS ARE SHOWN ON THAT MAP OF SAID ISLAND, MADE BY R. H. STRETCH IN 1871 WHICH MAP IS RECORDED IN BOOK 41 OF DEEDS, PAGE 160, SOLANO COUNTY RECORDS AND IS ALSO SHOWN BY MAP MADE BY E. N. EAGER, COUNTY SURVEYOR AND RECORDED SEPTEMBER 10, 1910 IN BOOK 3 OF MAPS, PAGE 25, SOLANO COUNTY RECORDS.

PARCEL THREE:

A NON-EXCLUSIVE RIGHT OF WAY FOR INGRESS, EGRESS AND PARKING OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT ON THE WESTERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY, SAID POINT BEARS NORTH 24° WEST 6264.06 FEET AND NORTH 17° 27' WEST 427.02 FEET FROM THE MOST SOUTHERLY CORNER OF SAID GARBEN PARCEL; THENCE FROM SAID POINT OF BEGINNING NORTH 17° 27' WEST ALONG THE WESTERLY LINE OF SAID PARCEL A DISTANCE OF 284.99 FEET; THENCE LEAVING SAID LINE NORTH 72° 33' EAST 38.74 FEET; THENCE SOUTH 17° 27' EAST 85.00 FEET; THENCE NORTH 72° 33' EAST 20.00 FEET; THENCE SOUTH 17° 27' EAST 30.00 FEET; THENCE SOUTH 03° WEST 110.88 FEET; THENCE SOUTH 17° 27' EAST 61.44 FEET; THENCE SOUTH 59° 26' WEST 20.54 FEET TO THE POINT OF BEGINNING, SOLANO COUNTY, CALIFORNIA.

PARCEL FOUR:

A NON-EXCLUSIVE RIGHT OF WAY 30.00 FEET IN WIDTH FOR THE TRANSPORTATION OF WATER AND BOAT PASSAGE, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT THAT BEARS NORTH 24° WEST 6264.06 FEET AND NORTH 17° 27' WEST 858 FEET AND NORTH 44° EAST 85 FEET FROM THE MOST SOUTHERLY CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY; THENCE FROM SAID POINT OF BEGINNING AS FOLLOWS: SOUTH 39° EAST 120 FEET, SOUTH 21° 15' 51" EAST 150.33 FEET, SOUTH 03° WEST 240 FEET, SOUTH 17° 27' EAST 520 FEET AND SOUTH 24° EAST 6151.78 FEET TO THE SOUTHERLY BOUNDARY OF THE GARBEN PROPERTY HEREINBEFORE REFERRED TO.

PARCEL FIVE:

A NON-EXCLUSIVE EASEMENT FOR CONVEYING WATER OVER AND ALONG AN EXISTING CANAL WHICH RUNS ALONG THE EASTERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN THE DEED TO ARTHUR E. GARBEN, ET UX, RECORDED JULY 18, 1972 IN BOOK 1763 OF OFFICIAL RECORDS, PAGE 663 AS INSTRUMENT NO. 16156, AND EXTENDS FROM THE SOUTHERLY BANK OF MONTEZUMA SLOUGH TO THE NORTHERLY BOUNDARY OF PARCEL NO. 1 HEREIN ABOVE DESCRIBED.

RESERVING TO THE GRANTORS HEREIN THEIR HEIRS AND ASSIGNS, THE FOLLOWING:

1. A NON-EXCLUSIVE RIGHT OF WAY 30.00 FEET IN WIDTH FOR THE TRANSPORTION OF WATER AND BOAT PASSAGE, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT THAT BEARS NORTH 24° WEST 6264.06 FEET AND NORTH 17° 27' WEST 858 FEET AND NORTH 44° EAST 85 FEET FROM THE MOST SOUTHERLY CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY; THENCE FROM SAID POINT OF BEGINNING AS FOLLOWS: SOUTH 39° EAST 120 FEET, SOUTH 21° 15' 51" EAST 150.33 FEET, SOUTH 03° WEST 240 FEET, SOUTH 17° 27' EAST 520 FEET AND SOUTH 24° EAST 6151.78 FEET TO THE SOUTHERLY BOUNDARY OF THE GARBEN PROPERTY HEREINBEFORE REFERRED TO.

2. A NON-EXCLUSIVE EASEMENT FOR CONVEYING WATER OVER AND ALONG AN EXISTING CANAL, WHICH RUNS ALONG THE EASTERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN THE DEED TO ARTHUR E. GARBEN, ET UX, RECORDED JULY 18, 1972 IN BOOK 1763 OF OFFICIAL RECORDS, PAGE 663 AS INSTRUMENT NO. 16156, AND EXTENDS FROM THE SOUTHERLY BANK OF MONTEZUMA SLOUGH TO THE SOUTHERLY BOUNDARY OF PARCEL NO. 1 HEREIN ABOVE DESCRIBED.

SAID EASEMENT IS APPURTENANT TO THE REMAINING LANDS OF THE GRANTOR LYING SOUTHERLY OF PARCEL NO. 1 HEREIN ABOVE DESCRIBED, AND ALL PORTIONS THEREOF.

3. A RIGHT OF WAY FOR INGRESS, EGRESS AND PARKING OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT IN THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL 1 IN DEED TO ARTHUR E. GARBEN AND WIFE DATED JUNE 22, 1972 AND RECORDED JULY 18, 1972 IN BOOK 1763 AT PAGE 663 AS INSTRUMENT NO. 16156 OF OFFICIAL RECORDS OF SOLANO COUNTY, SAID POINT BEARS NORTH 24° WEST 6264.06 FEET, NORTH 17° 27' WEST 712.01 FEET AND NORTH 72° 33' EAST 38.74 FEET FROM THE MOST SOUTHERLY CORNER OF SAID GARBEN PARCEL; THENCE FROM SAID POINT OF BEGINNING NORTH 72° 33' EAST 20.00 FEET; THENCE SOUTH 17° 27' EAST 85.00 FEET; THENCE SOUTH 72° 33' WEST 20.00 FEET; THENCE NORTH 17° 27' WEST 85.00 FEET TO THE POINT OF BEGINNING, SOLANO COUNTY, CALIFORNIA.

